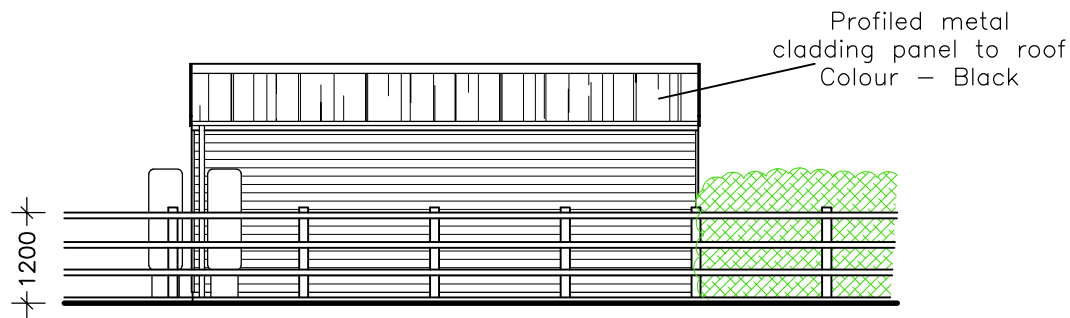
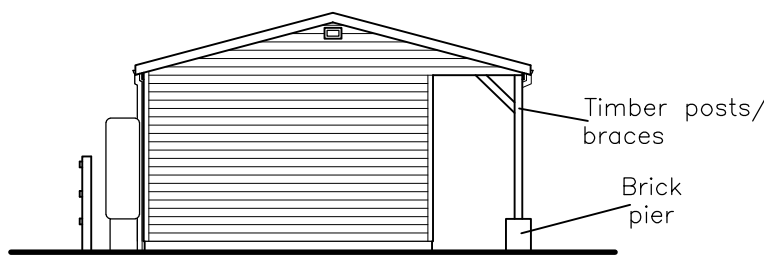


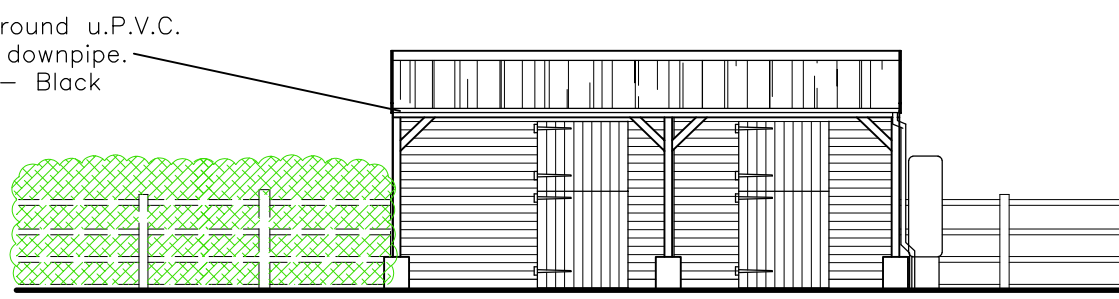
SIDE (SOUTH–WEST)
ELEVATION



REAR (SOUTH–EAST)
ELEVATION



SIDE (NORTH–EAST)
ELEVATION

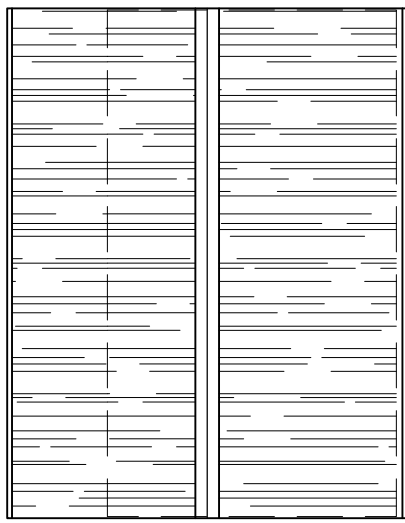


FRONT (NORTH–WEST)
ELEVATION

Proposed Hedge to North–East
& South–East Boundary to
comprise an even mix of: –
Blackthorn (*Crataegus monogyna*)
Dog Rose (*Rosa canina*)
Field Maple (*Acer campestre*)
Hazel (*Corylus avellana*)

TREE SCHEDULE

- 1 No. T1 Silver Birch (*Betula pendula*)
- 2 No. T2 Rowan (*Sorbus aucuparia*)
- 3 No. T3 Star Magnolia (*Magnolia stellata*)



ROOF PLAN

SPRING GARDENS

Proposed Dwelling

Patio

Grass

Proposed Drive
(permeable)

Gravel Path

Existing Hedges predominately
Hazel & Birch, maintained at
an existing height of max.
4.0m above finished G.L.

Provide new timber Post & Rail Fence, to
match existing to proposed boundary dividing
rear garden to proposed dwelling with retained
section of Paddock to the south–west of the
site. Reuse existing five bar field gate

All existing trees & hedge to
north–west boundary of the site
are to be retained as existing

Existing Led. External
floodlights at high level,
to be retained as existing

Timber framed,
ledged & braced
stable doors

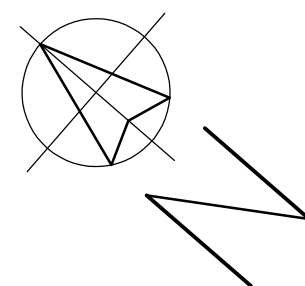
Existing Led. External
floodlights at high level,
to be retained as existing

Provide a min. 300 Ltr. Water
Butt to collect rainwater from
front roof slope, to provide
drinking water for horses

Provide a min. 300 Ltr. Water
Butt to collect rainwater from
rear roof slope, to provide
drinking water for horses

Paddock

All existing trees & hedge
to the south–east of the
boundary of the site are to
be retained as existing



This Drawing is to be read
in conjunction with dwg.
No. 684–01 to 10 Inclusive
At all times

A	Drawing completed for Planning Submission	09/01/26
Rev.	Description	Date

The Client is advised to ascertain and comply with his duties under the C.D.M.
Regs 2015 and his obligations under the Party Wall etc. Act 1996 and
Equality Act 2010 where applicable.
Contractors must verify all dimensions on site before commencing any work.
The copyright of this drawing is reserved.
The drawing must not be disclosed without authority.
The drawings and drawing notes do not purport to cover each and every item
required to complete the project, the notes are not a specification of works, the
contractor is advised to verify the full extent of the works with the client.
This drawing is to be read in conjunction with Designers Risk Assessment

Project
Land East of Spring Gardens
Washington,
W. Sx.
RH20 3BP

Proposed Dwelling
Relocation of Existing Stable

Client
Mr. & Mrs Ripley

Drawing no. 6784–06 (A1) A

Scale 1 : 100 Date Nov. 2025

KG DESIGNS
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0 1 2 3 4 5 Scale Bar 1:100 10m