

Land at The Hyde, Rusper Road, Crawley - outline application for the erection of up to 7 dwellings.

Planning, Design and Access Statement on behalf of JJJV Ltd.



3D Planning - Town Planning Consultancy

**Planning Design and Access Statement in support of an
outline planning application for the erection of up to 7 dwellings on land at the Hyde, Rusper Road, Crawley.**

Introduction

Paragraph: 034 Reference ID: 26-034-20140306

This Planning Statement incorporates statements in accordance with local and national planning guidance and is to be read alongside the submitted plans and documents.

The role of this statement is to aid decision making. This is achieved by communicating the process employed to inform the development by considering the form, character, structure and impact of the proposed development in the context of its surroundings (as set out in Note 1 below which is extracted from the Planning Policy Guidance note on Design 2014).

This statement includes an assessment of the scheme against the policies of the adopted Development Plan and other material planning policy considerations.

The application should also be considered within the context of the National Planning Policy Framework (NPPF). The key principles of national government planning policy are set out in this document and surround the concept of creating developments that are sustainable and of high quality in terms of design, sustainability, socially inclusive and protect the environment.

A Design and Access Statement is a concise report accompanying certain applications for planning permission and applications for listed building consent. They provide a framework for applications to explain how the proposed development is a suitable response to the site and its setting and demonstrate that it can be adequately accessed by prospective users.

Planning Design and Access Statement in support of an outline planning application for the erection of up to 7 dwellings on land at the Hyde, Rusper Road, Crawley.

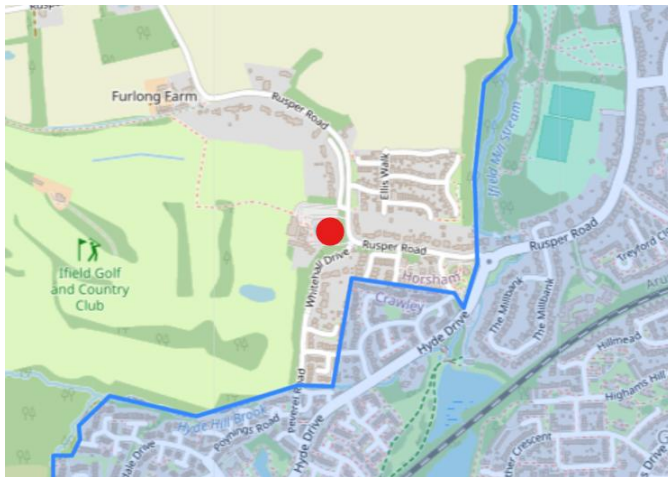
Proposal

The accompanying planning application is made for outline planning seeking planning permission for the erection of up to 7 dwellings (shown on the illustrative plans as 5 houses and 2 flats), on land at The Hyde, Rusper Road, Crawley.

The proposal seeks outline consent for residential development with all matters reserved except for access. The DAS demonstrates that the site can accommodate the proposed number of dwellings in a manner that responds sensitively to its context, reflects local character, and provides safe and inclusive access for all.

The proposal has been developed with regard to the Horsham District Planning Framework (HDPF, adopted November 2015) and the National Planning Policy Framework (NPPF, 2024), which together promote sustainable development through high-quality, well-designed housing in appropriate locations.

Notwithstanding the site position on the edge of Crawley- it is located within Horsham District Councils' administrative area as shown on the council's boundary map opposite.



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Site features

Area: approximately 0.48 hectares.

The existing dwelling The Hyde is to be retained in residential use and is being sold separately.

Current use.

The land comprises garden land associated with The Hyde; it is a combination of grassland, shrubs, tree belt and pond.
open grassed paddock with some boundary vegetation.

Boundaries.

Mature hedgerows and trees define the boundaries, providing natural screening from Rusper Road and neighbouring properties.

Topography.

The site is gently sloping and well drained.

Surroundings.

The area is semi-rural, with mostly detached dwellings in the immediate vicinity; it is an edge of settlement site and as such the urban character to the east is contrasted with the open golf course to the east and north

Access.

Existing vehicular access from Rusper Road.

See site photo extracts opposite.



View of The Hyde and its garden.



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Views of The Hyde and its curtilage.



Views of The Hyde and its curtilage.



Site for plot 1.



Site for plot 1.

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View from The Hyde across to the golf course.



Disused private tennis court (above and below).



Pond in curtilage of The Hyde.



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Rusper Road looking towards golf club entrance.



Golf Club entrance. (above and below).



Tree belt between site and road.



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Planning background

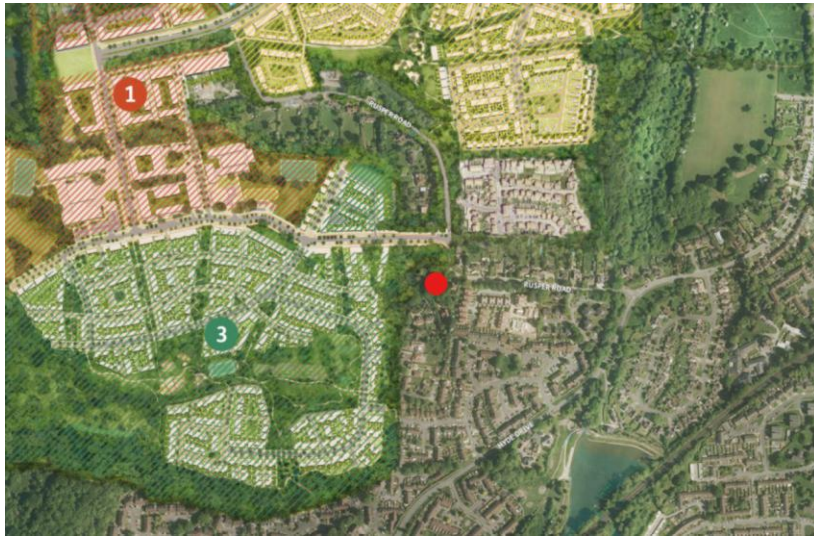
It is acknowledged that the site currently lies outside of the development boundary – however the recent application for a massive urban extension would effectively enclose the site within built development meaning that the development boundary would be redefined as a result of this significant development.

Relationship to the town of Crawley and large new proposed development at Ifield Golf course.

DC/25/1312|Hybrid planning application (part outline and part full planning application) for a phased, mixed use development comprising: A full element covering enabling infrastructure including the Crawley Western Multi-Modal Corridor (Phase 1, including access from Charlwood Road and crossing points) and access infrastructure to enable servicing and delivery of secondary school site and future development, including access to Rusper Road, supported by associated infrastructure, utilities and works, alongside: An outline element (with all matters reserved) including up to 3,000 residential homes (Class C2 and C3), commercial, business and service (Class E), general industrial (Class B2), storage or distribution (Class B8), hotel (Class C1), community and education facilities (Use Classes F1 and F2), gypsy and traveller pitches (sui generis), public open space with sports pitches, recreation, play and ancillary facilities, landscaping, water abstraction boreholes and associated infrastructure, utilities and works, including pedestrian and cycle routes and enabling demolition. This hybrid planning application is for a phased development intended to be capable of coming forward in distinct and separable phases and/or plots in a severable way.



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Red dot shows the site in context of the edge of Crawley and the proposed new development.

Site History

The Hyde is a private dwelling that sits within extensive landscaped grounds off Rusper Road on the western side of Crawley.

The Hyde is as shown on the photos within the site section above. It is heavily trees along the road frontage to Rusper Road and along its boundary with Whitehall Drive.

The mutual boundary between Crawley Borough Council and Horsham runs to the east of the site- the site is located within Horsham Borough Councils boundary.

There is no relevant planning history for the Hyde on the HDC website.



Address **Property History (2)** Constraints (0) Map

Planning Applications (2)

- [Extension and alterations to existing garage and conversion of 1st floor to provide carers annexe](#)
Ref. No: DC/04/2717 | Status: Application Refused
- [Extension and raising of roof with dormer windows of garage to form a carer's annexe](#)
Ref. No: DC/06/0187 | Status: Application Refused

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Planning policies

The English planning is predicated on a plan led system whereby applications for development should be determined in accordance with the development plan unless other material considerations indicate otherwise.

This is reiterated in para 2 of the NPPF.

2. Planning law requires that applications for planning permission be determined in accordance with the development plan², unless material considerations indicate otherwise³. The National Planning Policy Framework must be taken into account in preparing the development plan, and is a material consideration in planning decisions. Planning policies and decisions must also reflect relevant international obligations and statutory requirements.

Section 2 of the NPPF is entitled 'Achieving Sustainable Development' and it explains that the purpose of the planning system.

7. The purpose of the planning system is to contribute to the achievement of sustainable development, including the provision of homes, commercial development and supporting infrastructure in a sustainable manner.

National Planning Policy Framework (December 2024).

The revised NPPF sets out that planning policies and decisions should contribute to the achievement of sustainable development.

Key changes are:

The standard method for assessing local housing need is now mandatory, not advisory, meaning local authorities are required to meet the identified need figure unless strong justification exists.

The NPPF places greater emphasis on the proactive use of land.

There is stronger emphasis on climate change mitigation and adaptation, including explicitly referencing the UK carbon reduction commitments.

The revised framework repeats the presumption in favour of sustainable development (paragraph 11 and following text).

The requirement for local plans to be up-to-date and for 5-year housing land supply to be maintained is reinforced.

Accordingly, this proposal has been formulated with the updated NPPF in mind and aligns with the new requirements below specific relevant extracts of the NPPF are set out.

8. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):
 - a) **an economic objective** – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;
 - b) **a social objective** – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering well-designed, beautiful and safe places, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and
 - c) **an environmental objective** – to protect and enhance our natural, built and historic environment; including making effective use of land, improving biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.

Planning Design and Access Statement in support of an outline planning application for the erection of up to 7 dwellings on land at the Hyde, Rusper Road, Crawley.

Para 11 sets out a fundamental presumption in favour of sustainable development, and this is set out in 2 parts- plan making and decision making.

Para 11(d) also sets out the implications of not having an up-to-date plan.

For **decision-taking** this means:

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date⁸, granting permission unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance⁷ provides a strong reason for refusing the development proposed; or
 - ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination⁹.

The subsequent footnote explains how this works in practice;

⁷ The policies referred to are those in this Framework (rather than those in development plans) relating to: habitats sites (and those sites listed in paragraph 194) and/or designated as Sites of Special Scientific Interest; land designated as Green Belt, Local Green Space, a National Landscape, a National Park (or within the Broads Authority) or defined as Heritage Coast; irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 75); and areas at risk of flooding or coastal change.

⁸ This includes, for applications involving the provision of housing, situations where: the local planning authority cannot demonstrate a five year supply of deliverable housing sites (with the appropriate buffer as set out in paragraph 78); or where the Housing Delivery Test indicates that the delivery of housing was substantially below (less than 75% of) the housing requirement over the previous three years. See also paragraph 232.

⁹ The policies referred to are those in paragraphs 66 and 84 of chapter 5; 91 of chapter 7; 110 and 115 of chapter 9; 129 of chapter 11; and 135 and 139 of chapter 12.

Given the council's position in relation to housing land supply 11(d) is invoked and the tilted balance is triggered.

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Horsham District Planning Framework (HDPF, 2015)

The existing Horsham local plan is dated, and in response the council has undertaken a review with a new plan coming forward- however this appears to be in some difficulty in respect to planned adoption, and as such the council is reliant on the adopted (2015) local plan.

Relevant policies include:

- Policy 1: Sustainable Development – supports proposals that balance economic, social, and environmental needs.
- Policy 2: Strategic Development – encourages growth in sustainable locations to meet identified housing needs.
- Policy 3: Development Hierarchy – supports development adjacent to built-up area boundaries where it meets local housing needs and maintains settlement identity.
- Policy 4: Settlement Expansion – allows small-scale extensions to settlements where they are sustainable and respect landscape character.
- Policy 15: Housing Provision – supports the delivery of new housing in sustainable locations.
- Policy 24: Environmental Protection – ensures development does not result in unacceptable environmental harm.
- Policy 25 & 26: Countryside Protection and Development – seeks to protect rural character while allowing appropriate development that contributes to the district’s needs.
- Policy 31: Green Infrastructure and Biodiversity – promotes enhancement of existing ecological networks.
- Policy 32: The Quality of New Development – requires development to be well-designed and respond positively to local context.
- Policy 33: Development Principles – requires proposals to make efficient use of land, respect local character, and provide safe access.
- Policy 40: Sustainable Transport – supports development that provides safe and suitable access for all users.
- Policy 41: Parking – requires adequate vehicle and cycle parking provision.
- The proposal accords with these policies and contributes to the district’s sustainable housing supply without compromising landscape quality or rural character.

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Design and Access

The section below addresses the key list of attributes required to be considered within the design and access statement, i.e.- the amount; layout; scale; landscaping and appearance of the scheme.

The development is guided by the following key objectives:

- Contextual design: Reflect the scale, form, and materials of nearby properties along Rusper Road.
- Efficient land use: Deliver up to 7 dwellings on a well-screened site, contributing modestly to local housing supply.
- Landscape integration: Retain and enhance existing vegetation and introduce new planting to reinforce site character.
- Sustainable access: Provide a safe vehicular access from Rusper Road and pedestrian links.
- Environmental performance: Incorporate energy-efficient design and sustainable drainage.

These principles are consistent with HDPF Policies 32 and 33, ensuring the development is high-quality, locally distinctive, and sustainable as also required by the NPPF.

The design principles underpinning the proposed development are:

- To deliver a small-scale, high-quality residential scheme that complements the local character.
- To make efficient and sensitive use of the land, respecting existing landscape features.
- To provide safe vehicular and pedestrian access from Rusper Road.
- To ensure biodiversity and green infrastructure enhancements, including retention of existing trees and hedgerows.
- To create a layout that supports a strong sense of place and community.
- To ensure the dwellings are energy-efficient and adaptable for long-term sustainability.

Planning Design and Access Statement in support of an outline planning application for the erection of up to 7 dwellings on land at the Hyde, Rusper Road, Crawley.

Amount;

The application seeks outline consent for **up to 7 dwellings**. While the final mix will be determined at reserved matters stage, the illustrative layout shows that 2 flats and 5 family dwellings 3-4 beds, can be accommodated on site whilst respecting the environmental and policy constraints.

Layout;



See illustrative layout above.

Scale/ appearance;

Building heights are anticipated to be **2 storeys**, reflecting the prevailing scale and massing of nearby residential properties.

An indicative layout demonstrates how up to 7 dwellings could be arranged around a shared surface or short cul-de-sac, with:

- Individual gardens and off-street parking.
- Private rear gardens backing onto existing boundaries.
- Retention of existing trees and hedgerows where possible.
- Soft landscaping to reinforce character.

The final design will draw inspiration from local vernacular forms and materials—such as red brick, red or grey tile roofs and detail cladding to ensure visual harmony with the surrounding area.

As the application is outline with design, scale and appearance reserved for future approval these matters do not form part of the submission.

Access and movement

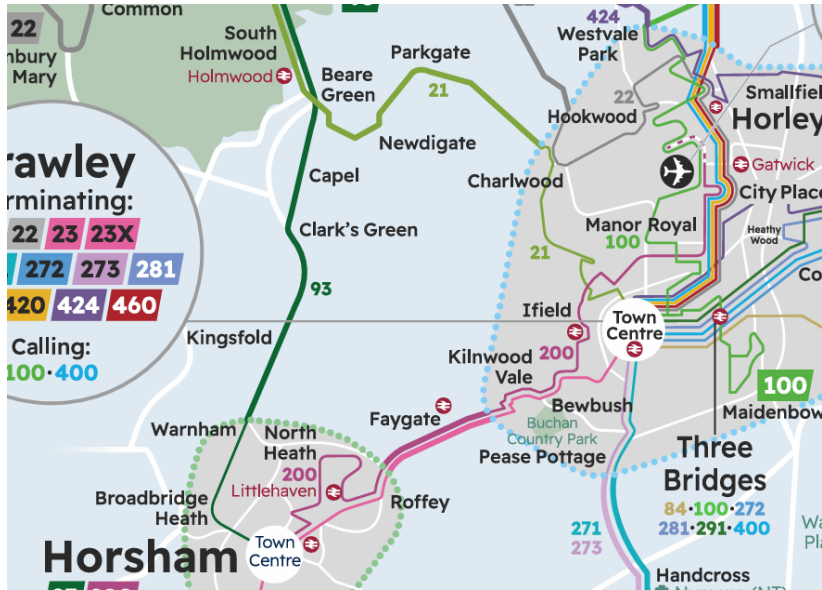
Vehicular Access

Access will be provided from Rusper Road via a new or improved single-vehicular entrance, designed to achieve appropriate visibility splays and safe maneuvering.

Planning Design and Access Statement in support of an outline planning application for the erection of up to 7 dwellings on land at the Hyde, Rusper Road, Crawley.

Pedestrian and Cycle Access

Pedestrian access will be integrated within the layout, connecting to Rusper Road and providing safe routes for future residents. The site's proximity to Crawley offers good opportunities for sustainable travel, including cycling and public transport.



Parking

Car parking provision will meet adopted council standards and include opportunities for EV charging and cycle storage- although this is a design and layout matter for approval at reserved matters.

Planning Design and Access Statement in support of an outline planning application for the erection of up to 7 dwellings on land at the Hyde, Rusper Road, Crawley.

Planning issues

Principle of development.

The site currently lies outside of any development boundary identified within the Horsham District Council local plan and as such is technically open countryside for planning purposes and consequently rural policies of restraint apply.

The site lies outside but adjacent to the defined built-up area of Crawley. It is not subject to any statutory environmental or heritage designations. The proposal represents a modest, sustainable extension to the existing settlement pattern consistent with Horsham District Council's spatial strategy to support limited growth adjacent to existing settlements.

Relationship to Ifield Golf course development.

The planned major development on the Ifield Golf Course would entirely enclose the site within build development between the existing edge of Crawley and the new urban extension meaning that the development boundary will have to be revised.

Housing land supply

The council is in difficulty in relation to HLS and as such Para 11d is invoked and the tilted balance triggered in decision making giving additional weight in the planning balance to the delivery on new homes.

Outline parameters

Access- the exiting crossover and access are retained and widened to enable passing for vehicles in the drive way.
The access has excellent visibility in both directions as it is on the outside of a curve in the road.

Impact on trees

The application is accompanied by a tree survey and Arboriculturally impact assessment- which justifies the removal of lower quality trees from the site.

Heritage

The site is not subject to any heritage asset designations and as such heritage is not a significant material consideration in the determination of the application.

Ecology and BNG

A landscape-led approach will guide detailed design. Existing trees and hedgerows will be retained and supplemented where possible with native planting to enhance biodiversity and visual amenity.

The application is accompanied by a preliminary ecological assessment and BNG metric/ plan which sets out the exiting and post development BNG.

It is anticipated that the interventions/mitigation/ enhancements suggested in the BNG plan will be secure in the usual way along with the purchase of off-site credits.

Loss of private tennis court

The tennis court is and always has been privately owned and used solely in conjunction with the domestic occupancy of the Hyde- such that this is no loss of a publicly accessible facility.

Water neutrality

It is understood that following an agreement between the Government and Naturel England.

Planning Design and Access Statement in support of an outline planning application for the erection of up to 7 dwellings on land at the Hyde, Rusper Road, Crawley.

The Government press release statement from 10 October 2025 sets out-

On 31 October 2025, Natural England issued a [Withdrawal Statement](#) confirming that its Water Neutrality Position Statement of September 2021 has been withdrawn.

For individual applications, we will now be using the 2024/25 water efficiency savings made by Southern Water to allow all development to move forward as water neutral from 1st November 2025. These savings were previously to be used by the Sussex North Water Certification Scheme (SNWCS), and amount to some 3,240,000 litres per day. SNWCS, for the avoidance of doubt, will no longer be launched.

For applicants, this means that:

1. No water neutrality statement is now required;
2. No payment into SNWCS is needed to use the Southern Water capacity referred to above;
3. No bespoke conditions or s106 obligations are required to demonstrate water neutrality.

Notwithstanding the lifting of this restriction; the sustainable use of water remains an important planning aim as part of wider sustainability and to this end the homes can be designed to be as sustainable as possible in relation to water efficient and usage. Whilst this is a matter for the reserved matters submission, consideration can be given to mitigations such as grey water recycling, water butts etc.

Sustainability and Drainage

The proposed dwellings will be designed to achieve high standards of energy efficiency, incorporating measures such as: Air source heat pumps or similar low-carbon heating systems

- High-quality insulation and glazing

- Use of sustainable materials

Surface water drainage will be managed through Sustainable Urban Drainage Systems (SuDS), ensuring runoff is controlled and water quality protected.

- A percolation test has been carried out and this confirms that XX
- The site can be drained by infiltration/ or
- In addition, the site has riparian rights on the drainage ditch to the front of the site alongside Rusper Road and this can be used to take surface water from the site at an attenuated rate in conjunction with on-site attenuation- again these are detail for the reserved matters.

Foul water will discharge to the public sewer – however this is again a matter for future approval.

Community and safety

The layout will follow Secured by Design principles, with clear definition of public and private spaces, natural surveillance, and safe movement routes.

All dwellings and external spaces will be designed for inclusive access, ensuring accessibility for people of all ages and abilities.

**Planning Design and Access Statement in support of an
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Conclusions

The site lies outside but adjacent to the defined built-up area of Crawley. It is not subject to any statutory environmental or heritage designations. The proposal represents a modest, sustainable extension to the existing settlement pattern consistent with Horsham District Council's spatial strategy to support limited growth adjacent to existing settlements.

This Design and Access Statement demonstrates that the site at Rusper Road, Crawley is suitable for the development of up to 7 dwellings.

The proposal:

- Represents a sustainable, small-scale residential development in a sustainable and accessible location which is compatible with the character of the area.
- Can be accessed safely by vehicles, pedestrians, and cyclists.
- Offers opportunities for environmental enhancement and biodiversity gain.

The scheme is therefore consistent with the aims of the Horsham District Planning Framework (HDPF) and the National Planning Policy Framework (NPPF) in promoting sustainable development.