



Proposed housing at the Lynwick Street/ Guildford Road junction, Rudgwick

Landscape and Visual Impact Appraisal

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Figure 2: Local Landscape Aerial Photograph

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Appendix C: Illustrative Landscape Masterplan

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1.0 INTRODUCTION

1.1 Study Background

1.1.1 Welbeck Strategic Land IV LLP (“Welbeck Strategic Land”) is seeking to develop land for up to 90 units of housing at the village of Rudgwick in Horsham District. This land lies in the countryside on the south-western side of Rudgwick and the northern side of Bucks Green (**Figure 1: Site Location and Context**). It forms part of a draft allocation “of at least 66 homes” under Strategic Policy HA14: Rudgwick and Bucks Green Housing Allocations of the Regulation 19 Proposed Submission Local Plan¹. This policy sub-divides the draft allocation into two sites:

- RD1: Land North of Guildford Road, 4.9 hectares (60 homes)
- RD2: The Former Pig Farm, 0.31 hectares (6 homes)

1.1.2 The locations of the two sites are shown on **Plate 1**, which is an extract from Inset Map 28: Rudgwick, Bucks Green and Cox Green.

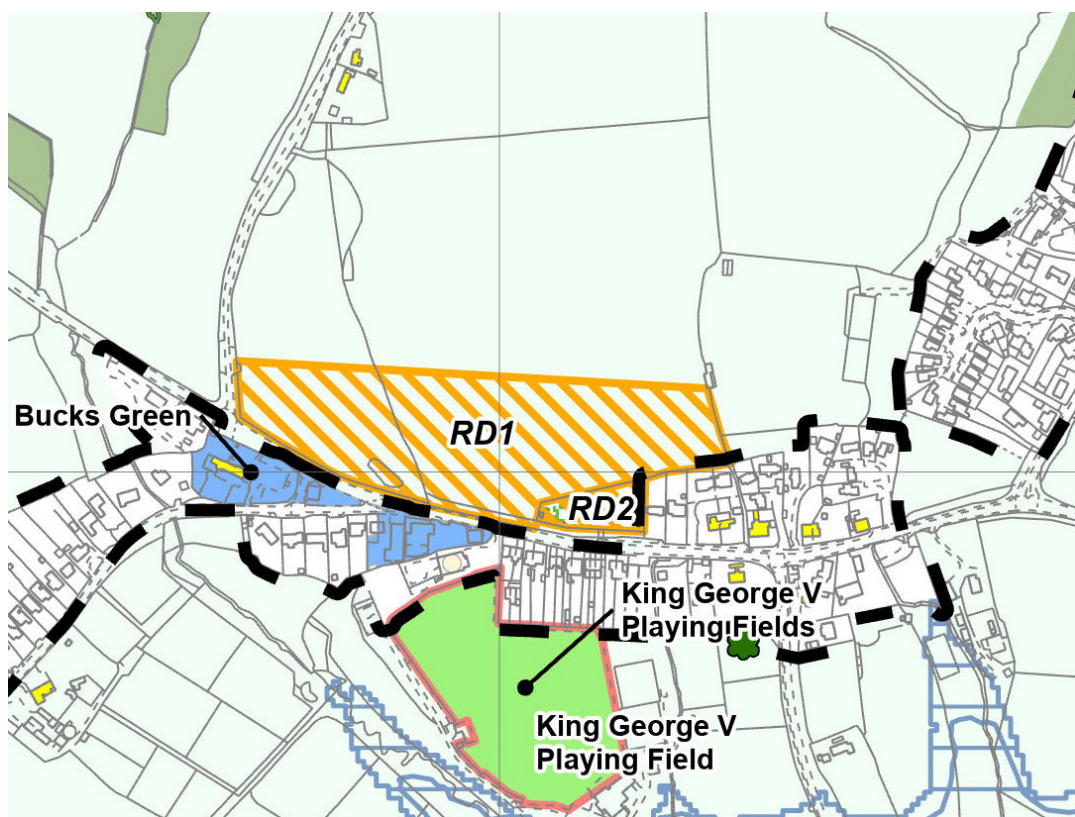


Plate 1: Extract from Inset Map 28 of the Regulation 19 Proposed Submission Local Plan

¹ Horsham District Local Plan 2023 - 2040 Regulation 19 Proposed Submission Local Plan
August 2025

- 1.1.3 The application site (“the site”) corresponds with the RD1 allocation site.
- 1.1.4 Scarp Landscape Architecture Ltd was commissioned, as part of a multi-disciplinary team, to (a) undertake an appraisal of the site and surrounding landscape, (b) guide the preparation of a development master plan to help achieve landscape and visual integration, (b) prepare a landscape strategy and illustrative landscape masterplan, and prepare a Landscape and Visual Impact Appraisal (LVIA) of the proposed development (the “Development”) to accompany the planning application.
- 1.1.5 This report presents the findings of the appraisal of potential landscape and visual effects that would result from the development proposal.

1.2 Report Structure

- 1.2.1 The report is set out under the following headings:

- (1) Introduction
- (2) Site Location and Landscape Context
- (3) Landscape Planning Policies
- (4) Landscape Character and Guidance
- (5) Site Description
- (6) Existing Site Visibility
- (7) The Proposed Development
- (8) Landscape Appraisal
- (9) Visual Appraisal
- (10) Response to Landscape Planning Policy
- (11) Summary and Conclusions

2.0 SITE LOCATION AND LANDSCAPE CONTEXT

2.1 Site Location

- 2.1.1 Rudgwick is located approximately 6km northwest of Horsham. The settlement of Bucks Green lies southwest of Rudgwick, straddling both sides of Guildford Road. The site abuts the northern edge of Guildford Road and the northern settlement boundary of Bucks Green (**Figure 1: Site Location and Context**).

2.2 Local Topography

- 2.2.1 Rudgwick is located on rising land that forms the northern side of the Arun Valley, with the valley side extending up to a high point of 94m AOD near the Sussex Border Path on **Figure 1: Site Location and Context**. The village extends from approximately 25m AOD near its lower edge to approximately 85m AOD at its highest point. A number of gills dissect the sideslopes of the valley, both to the east and west of Rudgwick. These gills drain into the River Arun, which passes approximately 450m south of the site. A north-south hillspur associated with Lynwick Street lies on the western side of Rudgwick.

2.3 Local Vegetation

- 2.3.1 The local landscape is generally well-treed. It typically comprises a mix of small and medium scale pasture fields bordered by dense hedgerows and large mature trees. Blocks of woodland are associated with the gills that descend to the River Arun (**Figure 2: Local Landscape Aerial Photograph**). The western part of the site forms part of a medium scale field whilst the eastern part of the site forms part of a wider area of agricultural land where historic field boundary hedgerows were removed in the latter half of the 20th century or were lost due to poor landscape management.

2.4 Access and Movement

- 2.4.1 Guildford Road passes east-west along the floor of the valley. Church Street heads north from Guildford Road through the centre of Rudgwick. Lynwick Street heads north from the western part of Bucks Green whilst Loxwood Road heads southwest. A network of public footpaths criss-crosses the local countryside. Public Footpath 1386 heads north from Guildford Road through the far eastern part of the site to connect with Lynwick Street, approximately 550m north of the site. The Downs Link long distance recreational footpath passes through the centre of Rudgwick

and the Sussex Border Path passes along on the northern side of the village (**Figure 1: Site Location and Context**).

2.5 Local Land Use and Landscape Designations

- 2.5.1 The land surrounding Rudgwick and Bucks Green is a settled rural landscape with scattered villages, individual houses and farmsteads. Rudgwick and Bucks Green and both linear settlements. Land use surrounding these settlements is dominated by well-treed farmland.
- 2.5.2 The South Downs National Park is situated approximately 8km to the southwest of the site. The site and its local landscape context are not subject to any national or local landscape designations.
- 2.5.3 A number of listed buildings (Grade II) are located close to the site (**Figure 3: Site Landscape Aerial Photograph**): The Fox Inn; The Old Cottage; Field Cottage; Goblin's Pool Hotel; The Queen's Head Public House and Bucks Green Place.

2.6 Published Landscape Character and Design Guidance

National Level Character Assessment

- 2.6.1 The site lies in the northern part of the Low Weald National Character Area (NCA 121), as identified by Natural England's Character Map of England. The key characteristics of this NCA, as identified by this document, include:
 - *"Broad, low-lying, gently undulating clay vales....."*
 - *"A generally pastoral landscape with arable farming associated with lighter soils on higher ground and areas of fruit cultivation in Kent. Land use is predominantly agricultural but with urban influences, particularly around Gatwick, Horley and Crawley."*
 - *"Field boundaries of hedgerows and shaws (remnant strips of cleared woodland) enclosing small, irregular fields and linking into small and scattered linear settlements along roadsides or centred on greens or commons. Rural lanes and tracks with wide grass verges and ditches."*
 - *"Small towns and villages are scattered among areas of woodland, permanent grassland and hedgerows on the heavy clay soils where larger 20th-century villages have grown around major transport routes."*
 - *"Frequent north-south routeways and lanes, many originating as drove roads, along which livestock were moved to downland grazing or to forests to feed on acorns."*

County Level Landscape Character Assessment

2.6.2 The site lies in the Low Weald Hills Landscape Character Area (LCA), as defined by the West Sussex County Council Landscape Character Assessment (2003). The character profile for the Low Weald Hills LCA is provided in **Appendix A**. The key characteristics of this LCA, as identified by this document, include:

- *“Undulating, low and densely wooded ridges running mostly east-west.”*
- *“Blocks and strips of interconnecting woodland, including a large number of blocks of ancient woodland. Western area characterised by woodland of some size.”*
- *“Mostly rural character with intricate patchwork of small to medium size pasture fields with a combination of sinuous and straight boundaries. Larger, more open, field patterns in the east.”*
- *“Strong pattern of shaws and hedgerows enclosing fields with mature single oaks in hedgerows and fields.”*
- *“Network of narrow lanes, sometimes sunken, cross the area with strong definition north-south. Many of them are former droveways for cattle, pigs and sheep.”*
- *“Steep, secretive wooded gills.”*
- *“Dispersed settlement pattern of scattered farms, cottages, hamlets and linear villages. Linear ridgetop villages such as Rudgwick and Rusper are set on higher ground. Farm cottages dispersed along lanes. Rusper forms a particularly attractive area with a traditional core. Some suburban development on village edges.”*
- *“Strong historic vernacular of sandstone, half timber and plaster/brick, tile hanging and weatherboarding. Rich collection of timber frame buildings in Rudgwick and surrounding area. Local landmark of Rudgwick Church spire.”*

2.6.3 The Low Weald Hills LCA Land Management Guidelines include:

“Conserve and enhance rural wooded character, including the distinctive form of ridgetop woodlands and gill woodlands. Encourage positive management and long term woodland regeneration.”

“Maintain and strengthen the interlinking network of hedgerows, woodland and shaws. Restore shaws/hedgerows and single hedgerow trees throughout pasture land.”

“Ensure any development respects historic settlement pattern and form, and building materials.”

“Consider the cumulative impact on landscape character of small developments and land-use change, and avoid the introduction of suburban styles and materials.”

“Avoid skyline development and ensure any new development is well integrated into the wider landscape. Use new woodland, shaw and hedgerow planting as appropriate.”

“Plant new woodland and hedgerows around village fringes and along busy urban routes such the A281. Promote the planting of amenity trees throughout new housing development.”

District Level Landscape Character Assessment

2.6.4 The site forms part of the Wooded Ridges Landscape Type and lies within the Horsham District LCA I1 (Rowhook and Rudgwick Ridge), as identified in the Horsham District Landscape Character Assessment² (**Plate 2**). The key characteristics of this LCA include:

- *“Undulating ridges. Low escarpment at Rowhook.”*
- *“Densely wooded character.”*
- *“Steep sided ghylls...”*
- *“Secluded small to medium size pasture fields within sinuous and straight boundaries.”*
- *“Ridgetop villages and hamlets.”*
- *“Rich collection of timber frame buildings in Rudgwick and surrounding area.”*
- *“Local landmark of Rudgwick Church spire.”*

2.6.5 The site also lies close to the Horsham District LCA P1 (Upper Arun Valleys), as identified in the district landscape character assessment. The key characteristics of this LCA include:

- *“Mostly narrow valleys with undulating valley sides.”*
- *“Lush valley bottoms with small drained irregularly shaped pastures.”*
- *“Occasional curving strips of woodland on valley sides.”*
- *“Tightly meandering and steeply banked river and stream courses.”*
- *“Mostly rural unspoilt character, except for urban edge influence around Horsham and some road and aircraft noise in places.”*

² Horsham District Landscape Character Assessment (October 2003)
August 2025

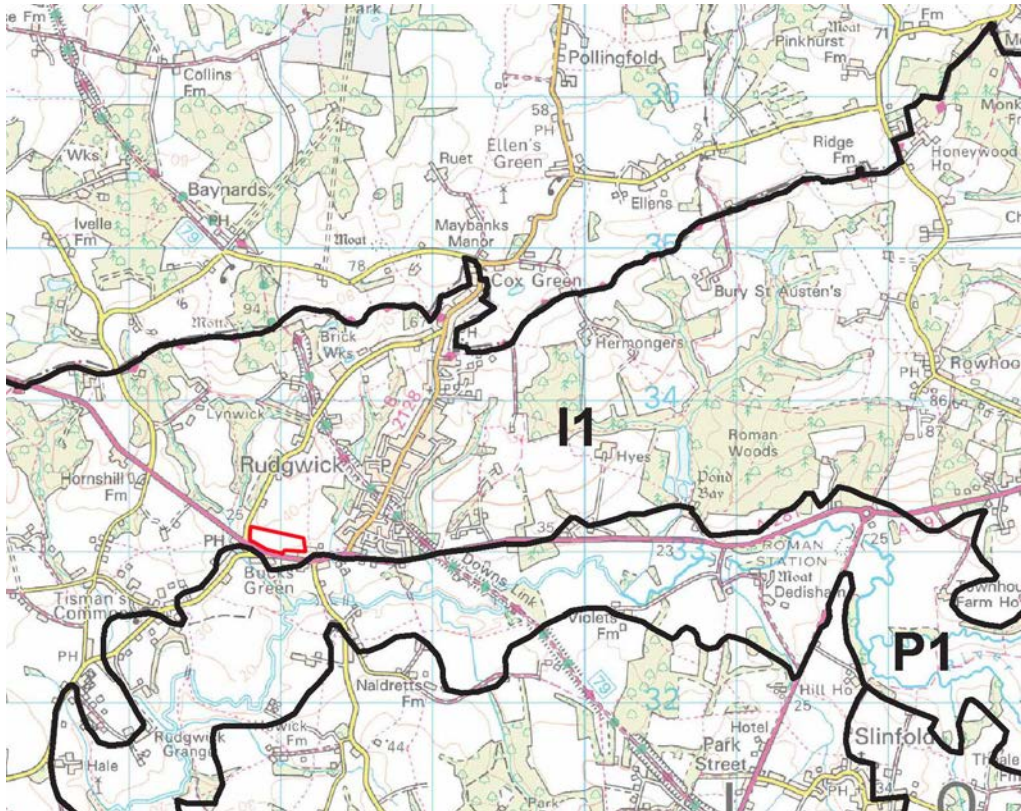


Plate 2: Site in relation to LCAs P1 and I1, as identified on Horsham District Council Landscape Character Types and Landscape Character Areas Map

2.6.6 Key sensitivities for LCA I1 are identified as:

- *“Loss of parkland features, e.g. parkland specimen trees/tree belts etc.”*
- *“Cumulative impact of small scale change.”*

2.6.7 Planning and land management guidelines for LCA I1 include:

- *“Ensure any appropriate small scale development responds to historic settlement pattern and local design and building materials, and is well integrated with the existing landscape pattern.”*
- *“Conserve and enhance existing hedgerows/shaws.”*
- *“Plant new woodlands around visually intrusive village fringes, e.g. suburban development at Rudgwick.”*

2.7 Rudgwick Parish Design Statement

- 2.7.1 The Rudgwick Parish Design Statement³ describes the parish in its setting and also provides guidance for the design of new development.

Bucks Green

- 2.7.2 The description of Bucks Green in the Design Statement includes the following:

“This is a linear community with the best road accessibility in the parish, but suffering considerable noise and traffic problems as a result.”

“Many of the historic properties, both in the core and at outlying farms have elements of the typical Wealden houses, mainly Horsham stone or tiled roofs, tile hanging, attractive old brick, visible timber framing and interesting chimney stacks.”

“King George V playing fields, leading directly from the A281, is the site of the Village Hall and Rudgwick Sports and Community Centre (RSCC) and is where facilities for cricket, football and tennis are available.”

“The relatively modern Loxwood Road properties have been improved or extended and there have been several newer infill developments, all of which lie back from the road. Together these provide a pleasant mix of materials, styles and sizes.”

“Bucks Green is a significant business area in the parish. In the past this revolved around retail, food, drink and garage services. Today much of the business activity has ceased and with it local employment. The Fox Inn is the only premises serving food and drink (RSCC is for members only). There is a garage workshop for car servicing. Other small premises have sprung up along the A281 completing the concentration of small business.”

The Southern End of Rudgwick

- 2.7.3 The description of the Southern End of Rudgwick includes the following:

“Today, this is the centre of the village and parish. It is a high density area, and is where the greater proportion of the population lives, either side of Church Street from Kilnfield Road to Watts Corner at the junction with the A281. It is where the shops and primary school are located.”

³ Rudgwick Parish Design Statement (Rudgwick Parish Council, 2009)
August 2025

"The development of Rudgwick's linear shape coalesced in a string of houses along Church Street. Church Street has a mix of properties of widely varying age and style."

"Post war housing on Church Street includes some very traditional styles but also several modern style houses. The busy street scene leaves few places for future development."

"The major areas of development are mostly cul-de-sacs all leading from/into Church Street."

Landscape Character

2.7.4 The Design Statement also describes Rudgwick's Landscape Character (adapted from Horsham District Landscape Character Assessment 2003 and West Sussex Land Management Guidelines).

2.7.5 Key issues include:

"Pressure for housing or other development in ridge villages, including in and near the Conservation Area, adding to ribbon development between settlements and their suburbanisation"

"Increasing traffic on A281...."

"Noise intrusion from A281...."

"Visual intrusion of roadside development mainly on A281 and B2128...."

"Introduction of high fencing and allowing hedges to grow tall as screening, elaborate gateways and other suburban features."

"Loss of hedgerows and parkland features."

"Maintaining biodiversity in arable fields."

"Recreation pressure, including fisheries, school and village playing fields, and need for maintenance of the Downs Link and other rights of way."

2.7.6 Key sensitivities include:

"Loss of specimen trees and tree belts, especially in former parkland on the Ridge."

"Cumulative impact of small scale change, especially near settlements."

"Increased use of the rights of way network."

"Loss of tranquillity."

2.7.7 Planning and Land Management Guidelines include:

"Ensure any appropriate small scale development responds to historic settlement pattern (i.e. dispersed/nucleated, etc), form (i.e. layout), local design and building materials."

“Avoid vertical structures such as masts and buildings over two storeys, having regard for skyline features.”

“Ensure any appropriate small scale development is well integrated into the existing landscape pattern of small woodlands, hedgerows and shaws.”

“Conserve the rural undeveloped character, particularly in the hamlets where any large scale development is likely to damage character through loss of small scale field patterns and woodland.”

“Plant or maintain existing native woodlands around any visually intrusive village fringes,”

2.8 Landscape Capacity

2.8.1 The Horsham District Landscape Capacity Assessment⁴ provided, amongst other things, an analysis of the capacity of the landscape around existing medium or smaller villages to accommodate medium and small scale housing development. The purpose of the study was to inform the preparation of the new Local Plan.

2.8.2 Six distinctive study areas were identified for the Rudgwick and Bucks Green assessment area, as illustrated on **Plate 3**.

⁴ Horsham District Landscape Capacity Assessment (Rev C, May 2021)
August 2025

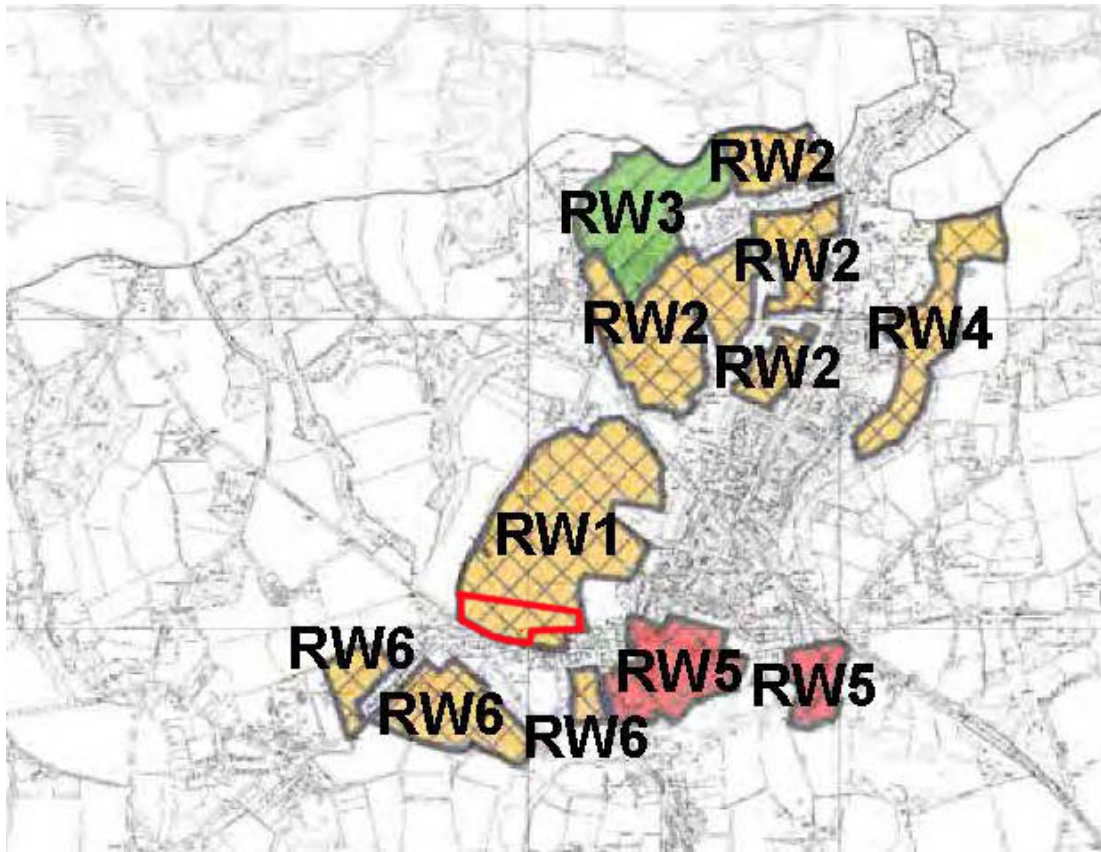


Plate 3: Landscape Capacity of Study Areas for Housing Development, extracted from Horsham District Landscape Capacity Assessment

- 2.8.3 The site lies in the southern part of Area RW1, which was assessed as having Low-Moderate overall landscape capacity to accommodate small-scale housing. Small-scale is defined in the study as being:

“Housing development of no more than 60 dwellings associated with village extensions. It is assumed that this development would be solely of one or two storey development up to 8.5m height and average 25-30 dwellings per hectare.”

- 2.8.4 The study recommended that *“Any development would need to respect the existing linear pattern of Bucks Green along the north side of the A281 road, avoid extending onto the higher and more open land beyond. Development would also need to avoid urban coalescence between Bucks Green and Rudgwick and maintain their separate identities.”*

- 2.8.5 These findings led to the draft allocation under Strategic Policy HA14, with the policy reflecting the *“no more than 60 dwellings”* classification for small-scale development that was adopted in the landscape capacity study. However, it is clear from the study that the southern part of this extensive assessment area has a relatively high capacity to accommodate new housing compared

to the overall landscape capacity for the whole of Area RW1 as it would “*avoid extending onto the higher and more open land beyond*”, achieve a good landscape fit in terms of integrating with the “*existing linear settlement pattern of Bucks Green*” and be located in an area with reduced tranquillity close to the A281.

- 2.8.6 Paragraph 2.8 of the study states that “*When assessing landscape capacity for the above development types it has been assumed that buildings will be sensitively designed, and that any development would include a strong framework of structural landscaping including ground modelling where appropriate, and tree planting at an appropriate scale, area, design and species composition, and takes account of local settlement/open space pattern, character and distinctiveness to ensure that development achieves a good fit with the landscape.*”

3.0 LANDSCAPE PLANNING POLICIES

3.1 Introduction

- 3.1.1 Landscape planning policies are set out in the Horsham District Planning Framework⁵, the Rudgwick Neighbourhood Plan⁶ and the emerging Horsham Local Plan⁷.

3.2 Horsham District Planning Framework Policies

- 3.2.1 Paragraph 9.17 of the Framework states that *“Whilst it is recognised that the undeveloped nature of rural areas must be protected, it is acknowledged that there may be circumstances where development is necessary to ensure the continued sustainable development of rural areas.”*

Policy 25 - Strategic Policy: The Natural Environment and Landscaper Character

- 3.2.2 This policy states that:

“The Natural Environment and landscape character of the District, including the landscape, landform and development pattern, together with protected landscapes and habitats will be protected against inappropriate development. The Council will support development proposals which:

- 1. Protects, conserves and enhances the landscape and townscape character, taking into account areas identified as being of landscape importance, the individual settlement characteristics, and maintains settlement separation.*
- 2. Maintain and enhances the Green Infrastructure Network and addresses any identified deficiencies in the District.*
- 3. Maintains and enhances the existing network of geological sites and biodiversity, including safeguarding existing designated sites and species, and ensures no net loss of wider biodiversity and provides net gains in biodiversity where possible.*
- 4. Conserve and where possible enhance the setting of the South Downs National Park.”*

⁵ Horsham District Planning Framework (excluding South Downs National Park), November 2015

⁶ Rudgwick Neighbourhood Development Plan for the period to 2031, Version date: 18 March 2021, made on 23 June 2021

⁷ Horsham District Local Plan 2023 - 2040 (Regulation 19), January 2024

Policy 26 - Strategic Policy: Countryside Protection

3.2.3 This policy states that:

“Outside built-up area boundaries, the rural character and undeveloped nature of the countryside will be protected against inappropriate development. Any proposal must be essential to its countryside location, and in addition meet one of the following criteria:

- 1. Support the needs of agriculture or forestry;*
- 2. Enable the extraction of minerals or the disposal of waste;*
- 3. Provide for quiet informal recreational use; or*
- 4. Enable the sustainable development of rural areas.*

In addition, proposals must be of a scale appropriate to its countryside character and location. Development will be considered acceptable where it does not lead, either individually or cumulatively, to a significant increase in the overall level of activity in the countryside, and protects, and/or conserves, and/or enhances, the key features and characteristics of the landscape character area in which it is located, including;

- 1. The development pattern of the area, its historical and ecological qualities, tranquillity and sensitivity to change;*
- 2. The pattern of woodlands, fields, hedgerows, trees, waterbodies and other features; and*
- 3. The landform of the area.”*

Policy 27 - Strategic Policy: Settlement Coalescence

3.2.4 This policy states, amongst other things, that:

“Landscapes will be protected from development which would result in the coalescence of settlements. Development between settlements will be resisted unless it can be demonstrated that:

- 1. There is no significant reduction in the openness and ‘break’ between settlements.”*

“4. Proposals contribute to the conservation, enhancement and amenity of the countryside, including where appropriate enhancements to the Green Infrastructure network or provide opportunities for quiet informal recreation.”

Policy 31 - Green Infrastructure and Biodiversity

3.2.5 This policy states, amongst other things, that:

"1. Development will be supported where it can demonstrate that it maintains or enhances the existing network of green infrastructure. Proposals that would result in the loss of existing green infrastructure will be resisted unless it can be demonstrated that new opportunities will be provided that mitigates or compensates for this loss, and ensures that the ecosystem services of the area are retained."

3.3 Rudgwick Neighbourhood Plan Policies

Policy RNP17: Green Infrastructure and Trees

3.3.1 This policy states that:

"RNP17.1 Development that enhances Rudgwick's Green Infrastructure will be positively supported. In doing so, development should not result in the net loss of existing trees or hedges."

"RNP17.2 Development proposals which involve the loss of existing trees should incorporate proposals for their replacement to an identical environmental value either within the site itself or elsewhere within the immediate locality. Any replacement trees should reflect the scale and nature of the trees to be lost and, as a minimum, conform to British Standard BS 3936-1/Standard 10-12cm girth."

Other Neighbourhood Plan Policies

3.3.2 Other policies are set out in the Design and Access Statement that accompanies the planning application. These relate to Housing Mix (Policy RNP2), Housing Density (Policy RNP5), Materials (Policy RNP6), Architectural Style (Policy RNP7), Development Height (Policy RNP8) and Street Scene (Policy RNP9).

3.4 Emerging Horsham Local Plan Policies

Strategic Policy 13: The Natural Environment and Landscape Character

3.4.1 This policy states, amongst other things, that:

“The Natural Environment and landscape character of the District, including the landscape, landform and development pattern, together with protected landscapes and habitats, will be protected against inappropriate development. The Council will expect development proposals to be landscape-led from the outset so that they clearly inform the design and layout. Proposals will also be required to:

1. Protect, conserve and enhance the landscape and townscape character, taking into account features / areas identified as being of landscape importance and the individual settlement characteristics, and maintain settlement separation;”

“2. Maintain and enhance the Green Infrastructure Network, the Local Nature Recovery Strategy and national Nature Recovery Network and, where practicable, help to address any identified needs and deficiencies in these networks across the District;”

“4. Incorporate SuDS into a scheme in an optimal location for their purpose whilst also securing landscape and biodiversity enhancements and delivering high-quality green spaces.”

Strategic Policy 14: Countryside Protection

3.4.2 This policy states that:

“1. Outside built-up area boundaries and secondary settlements, the rural character and undeveloped nature of the countryside will be protected against inappropriate development. Any proposal must be essential to, and justify, its countryside location, and must meet one of the following criteria:

- a) Support the needs of agriculture or forestry*
- b) Enable the extraction of minerals or the disposal of waste;*
- c) Provide for quiet informal recreational use; or*
- d) Enable the sustainable development of rural areas.*

2. In addition, all proposals must be appropriately integrated within the landscape and be of a scale appropriate to its countryside character and location. Development will be considered

acceptable where it does not lead, either individually or cumulatively, to a significant increase in the overall level of activity in the countryside, and protects, conserves, and seeks to enhance, the key features and characteristics of the landscape character area in which it is located, including;

- a) The development pattern of the area, its historical and ecological qualities, tranquillity and sensitivity to change;*
- b) The pattern of woodlands, fields, hedgerows, trees, waterbodies and other features;*
- c) The landform of the area; and*
- d) The protection of dark skies, in particular where it may impact on a designated International Dark Sky Reserve (IDSR), Neighbourhood Plan designations and High Weald AONB Management Plan objectives.”*

Strategic Policy 15: Settlement Coalescence

3.4.3 This policy states that:

“In order to protect local identity and an individual sense of place landscapes will be protected from development which would result in the coalescence of settlements.

1. Development between settlements will be resisted unless it can be demonstrated that the proposal meets all of the following criteria:

- a) There is no significant reduction in the openness and 'break' between settlements.*
- b) The related urbanising effects within the retained 'break' between settlements are minimised, including artificial lighting, development along and / or the widening of the roads between the settlements, and increased traffic movements.*
- c) Proposals respect the landscape and contribute to the enhancement of their countryside setting, including, where appropriate, enhancements to the Green Infrastructure Network, the Nature Recovery Network and / or provide opportunities for quiet informal countryside recreation.*

2. Redevelopment of existing sites that seek to reduce the existing urbanised character and appearance of an area between settlements, particularly along road corridors, will be supported.”

Strategic Policy 17: Green Infrastructure and Biodiversity

3.4.4 This policy states, amongst other things, that:

“Green Infrastructure

1. Development will be supported where it can demonstrate that it maintains and enhances the existing network of green infrastructure and contributes to the delivery of public open space, the Local Nature Recovery Strategy, Nature Recovery Network, natural capital, ecosystem services and / or biodiversity. Green Infrastructure should be integral to the design and layout of development, and new provision, including green linkages, should be provided taking into account Natural England’s green infrastructure guidance and the council’s green infrastructure strategy. Provision should seek to optimise public access to open space and nature via foot, bicycle, wheeling, and also horse as appropriate.

2. Proposals that would result in any loss, degradation or harmful impacts to green infrastructure, or core areas of the Local Nature Recovery Strategy and Nature Recovery Network will be resisted unless it can be demonstrated that new opportunities will be provided that appropriately mitigates and / or compensates for the respective harm and ensures that the ecosystem services of the area are retained and enhanced. Development proposals will be expected to remove invasive species.

3. Proposals will be expected to retain and enhance existing priority habitats and trees, and accord with the aims and objectives of the Green Infrastructure and Local Nature Recovery Strategies. Habitat enhancement including additional hedgerow and tree planting must take account of the local landscape and habitat context. It should seek to optimise biodiversity, ecological connectivity and function, and climate change resilience.”

Strategic Policy HA14: Rudgwick and Bucks Green

3.4.5 This policy states, amongst other things, that:

“1. The following sites are allocated, as shown on the Policies Map, for the provision of at least 66 homes:

- RD1: Land North of Guildford Road, 4.9 hectares (60 homes)
- RD2: The Former Pig Farm, 0.31 hectares (6 homes)

2. As adjacent sites, the Council would support RD1 and RD2 coming forward as a comprehensive scheme.

3. In addition to meeting national and Local Plan requirements, development will be supported where proposals:

RD1

- a) Are limited to the southern part of the site as shown on the Policies map, with an agreed landscape treatment in the northern part of the site to minimise landscape impacts; and*
- b) Ensure that appropriate regard is had to the impact on nearby Grade II Listed Buildings (Fox Inn, Guildford Road and The Old Cottage and Field Cottage, Lynwick Street)."*

3.5 Rudgwick Parish Design Statement Policies

- 3.5.1 Design policies include policies for Materials and Architectural Detail (Policies 1 to 15). Other policies include:

The Street Scene and Garden Frontages: General Policies

Policy 16: *"As with buildings, the materials used should be sustainable - local to the area, minimising runoff, native species planted where possible."*

Policy 17: *"Developers should ensure that planted frontages and their boundaries are integral to the design of the streetscape, not an afterthought."*

Boundaries

Policy 19: *"Open-plan frontages are to be avoided in future development. Where they exist, their integrity should be maintained. Hedges are much more appropriately rural, though some kinds of fence and low walls are also liked."*

Policy 20: *"High hedges detract from the street scene and should not be encouraged".*

Policy 21: *"Use of non-native evergreens should be avoided."*

Policy 22: *"Panels or close boards, although acceptable for boundaries with neighbours are not suited to a rural frontage."*

Policy 23: *"The use of non-local materials such as limestone, igneous and reconstituted stone is not encouraged."*

Entrances and Drives

Policy 24: *"the entrance should match the boundary in style, height and materials."*

Policy 25: *"Care should be taken not to make over-elaborate entrances out of scale or out of keeping with the property."*

Policy 27: *"If there is no alternative to parking in front gardens, serious thought should be given to sustainable solutions, such as the use of porous or permeable materials, paving only the line of wheel tracks, and careful planting to disguise the area, e.g., a gravel garden."*

Street Scene

Policy 32: *"Consideration should always be given to off-street parking in any new development."*

Policy 33: *"Street furniture should be kept to a minimum, and should blend in."*

Policy 36: *"the setting of properties, whether on the roadside or not, should be valued as an integral part of the countryside."*

Policy 37: *"A developer or property owner should also take account of the visibility of buildings across nearby fields and from public rights of way."*

4.0 SITE DESCRIPTION

4.1 Introduction

- 4.1.1 Reference is made below to a set of site appraisal and site context photographs that have been taken to illustrate the character and features of the site (**Appendix B**). The locations of the photographic viewpoints are illustrated on the **Site Appraisal Photographic Viewpoints Plan** (Photographs A to D) and the **Site Context Photographic Viewpoints Plan** (Photographs 1 to 14) at the front of this appendix. This photography was taken in February 2024 when the trees were not in leaf.

4.2 Site Context

- 4.2.1 The site abuts the northern edge of Guildford Road (A281) and the settlement edge of Bucks Green. Residential and commercial properties line the southern edge of the road opposite the site. Other residential properties and the playing fields of Pennthorpe Preparatory School lie to the immediate east. Lynwick Street, a rural road lined by well treed hedgerows, lies to the immediate west. Agricultural fields lie to west of Lynwick Street and to the north of the site.

4.3 Site Landform and Features

- 4.3.1 The site is 4.41 hectares (ha) in area. It comprises the southern parts of two pasture fields (Fields 1 and 2, as illustrated on **Figure 3: Site Landscape Aerial Photograph**) and is sub-divided by a north-south line of mature field boundary trees (**Photograph A**). The land within the site falls gently from north to south. Levels vary from approximately 35m AOD along the western section of the northern site boundary to approximately 28m AOD along the central section of the southern site boundary.
- 4.3.2 Vehicular access to the site is currently obtained by way of a field gate off Lynwick Street (**Photograph 6**). A public right of way (Footpath 1386) runs along the eastern boundary, linking Guildford Road to Lynwick Street near Canfields Farm (**Figure 1: Site Location and Context**).
- 4.3.3 The eastern section of the southern site boundary abuts the rear gardens of residential properties along Guildford Road (**Photographs A and 3**). The western section of this boundary is defined by mature tree/shrub vegetation on the northern side of Guildford Road (**Photographs C, 11 and 12**). The eastern site boundary is defined by mature tree/shrub vegetation alongside the school playing fields. The western site boundary is defined by a trimmed hedgerow with intermittent

mature trees along the edge of Lynwick Street (**Photograph D**). The northern site boundary is not defined by any physical feature but a line of post-and-wire fencing lies 35-45m north of the site (**Photographs B and 3**).

4.4 Site Character

- 4.4.1 The site has a rural settlement edge character, imparted by its agricultural use; agricultural fields to the north and west; and nearby housing to the south, southwest, southeast and east (**Photographs B and C**). Mature field boundary trees and nearby woodlands impart a well-treed character to the site and local landscape. Parts of the site have an open character where some panoramic views are available to Rudgwick, Bucks Green and the well-treed landscape to the south of Bucks Green (**Photograph B**). Other parts have a more enclosed character due to the presence of nearby housing, trees and hedgerows (**Photographs A and D**).

4.5 Landscape Value

- 4.5.1 There are no national or local landscape designations associated with the site or local landscape but the site is valued locally, as reflected by the landscape considerations set out in the Rudgwick Neighbourhood Plan and the Rudgwick Parish Design Statement. There are no heritage features (such as listed buildings) within the site although six listed buildings (Grade II) are located in the local landscape (The Fox Inn; The Old Cottage; Field Cottage; Goblin's Pool Hotel; The Queen's Head Public House and Bucks Green Place). Hedgerows, trees and fencing in the local landscape are typically well maintained. The site and adjacent areas support some locally distinctive landscape characteristics in the form of a well-treed hedgerows and pasture on rising land that forms the backdrop to the two villages. It is a landscape of moderate aesthetic appeal with some detractors. Commercial and residential buildings within Bucks Green was readily noticeable. Post-and-wire fencing on the northern side of the site and along a short section of the southern site boundary do not provide positive contributions to the local landscape. The site contributes to some attractive views from adjacent housing and roads and from surrounding PRoW. Traffic noise from Guildford Road detracts from local tranquillity. The site and local landscape is assessed as being of overall medium value based on the above.

5.0 EXISTING SITE VISIBILITY

5.1 Introduction

- 5.1.1 Reference is made below to the set of site appraisal and site context photographs that have been taken to illustrate typical views of the site from publicly accessible viewpoints in the surrounding landscape (**Appendix B**). The locations of the photographic viewpoints are illustrated on the photographic viewpoint plans at the front of this appendix.

5.2 Views from the north

- 5.2.1 The site is visible to varying degrees from Public Footpath 1386. **Photographs 1 and 2**, taken from the northern sections of this footpath, illustrate how (a) the views are dominated by pasture fields and (b) housing at Bucks Green may be seen at a relatively low level set amongst trees in the background. Moving closer to the post-and-wire fencing close to the northern site boundary, housing and trees at Bucks Green become more visible (**Photograph 3**). These site views are also obtained in the context of housing at Rudgwick.

5.3 Views from the east

- 5.3.1 Views of the site from the east are restricted to private views from the school playing fields and from housing at Rudgwick. Views from the Rudgwick housing, typically from upper floor windows, are likely to be heavily filtered or enclosed by intervening trees (**Figure 2: Local Landscape Aerial Photograph**). Views from the playing fields are substantially enclosed (summer months) or filtered (winter months) by the mature tree/shrub vegetation along the eastern site boundary (**Figure 3: Site Landscape Aerial Photograph**).

5.4 Views from the south

- 5.4.1 Open views of the eastern part of the site may be obtained from four residential properties that abut the southern site boundary (**Photograph 3**). Views towards the site from sections of Guildford Road to the southeast are enclosed by the housing along the northern edge of the road (**Figure 3: Site Landscape Aerial Photograph**). Views from other nearby sections of this road are typically filtered (winter months) or substantially enclosed (summer months) by the mature tree/shrub vegetation along the southern site boundary. This site boundary vegetation provides a positive contribution to these views and a well-vegetated character to Guildford Road (**Photographs 11 to 12**).

- 5.4.2 Site views from publicly accessible viewing positions further to the south are typically enclosed by the lines of housing and commercial buildings along the southern side of Guildford Road. However, some glimpsed views of on-site trees (the line of mature trees between Fields 1 and 2) may be obtained from Rudgwick Recreation Ground / King George V Playing Fields (**Photograph 13**). Views towards the site from the valley floor and hillsides further to the south are typically truncated by intervening woodland and other mature trees, as illustrated by **Photograph 14** taken from a public footpath on the western side of Haven Road.

5.5 Views from the west

- 5.5.1 Views from northern sections of Lynwick Street, descending towards the site, are substantially enclosed by intervening landform and/or a trimmed roadside hedgerow (**Photographs 4 and 5**). Views from the section of Lynwick Street adjacent to the site are partially enclosed by the site boundary hedgerow within its intermittent trees (**Photograph 6**) and are obtained in the context of buildings on the northern edge of Bucks Green. Views of the site from the section of Guildford Road west of the Lynwick Street / Guildford Road junction are typically restricted to the mature trees along the western site boundary (**Photograph 9**) or the tree/shrub belt along the southern site boundary (**Photograph 10**).
- 5.5.2 Views from publicly accessible locations (roads and public rights of way) further to the west are not available due to the enclosure provided by intervening woodland (**Figure 1: Site Location and Context** and **Figure 2: Local Landscape Aerial Photograph**). **Photograph 7**, taken from the Guildford Road/Hornshill Lane junction, illustrates how winter views towards the site are truncated by intervening woodland. **Photograph 8**, taken from a public footpath that descends to Guildford Road, illustrates how winter views towards the site are truncated by intervening vegetation and how views of existing housing at Bucks Green are restricted to some filtered glimpses of buildings through the tree canopies. Summer views of Bucks Green are completely enclosed.

5.6 Views from within the site

- 5.6.1 Open views of the eastern part of the site (Field 2) are available from the section of Public Footpath 1386 within the site (**Photograph A**). These views are dominated by the pasture field, by the mature tree/shrub vegetation alongside the eastern site boundary and by the line of mature trees between Fields 1 and 2. These include views of the existing settlement edge housing and have a rural settlement fringe character. Views obtained by recreational walkers are of high

visual amenity although rear garden enclosures for houses along the southern site boundary act as visual detractors (**Photograph A**).

5.7 Night-time Views

- 5.7.1 Views towards the site may be seen in the context of existing house lighting at Bucks Green and the dark skies above it. There is no street lighting along roads adjacent to the site.

5.8 Visually Sensitive Receptors

- 5.8.1 The sensitivity of visual receptors varies according to the degree of interest and attention they would be paying to the views around them and the length of time or frequency with which they would experience the views. The levels of sensitivity of people who potentially will have views of the Development are:

- **High sensitivity receptors:** residents and recreational walkers using public rights of way;
- **Medium sensitivity receptors:** users of local roads and the school playing fields.

5.9 Visual Summary

- 5.9.1 Open views of Field 2 are available from the section of Public Footpath 1386 within the site and from a small number of houses along the southern site boundary. They provide an open rural outlook for residents and recreational footpath users. Glimpsed views of Field 2 may also be obtained from the northern sections of Public Footpath 1386, seen against a backdrop of buildings and trees within the Bucks Green. Glimpsed views of the site from adjacent sections of Guildford Road are typically filtered (winter months) or substantially enclosed (summer months) by the mature tree/shrub vegetation along the southern site boundary. This site boundary vegetation provides a positive contribution to these views and a well-vegetated character to Guildford Road.
- 5.9.2 Glimpsed views of the site are also available from adjacent sections of Lynwick Street. Trees along the western site boundary contribute to a well tree skyline, as experienced by users of Guildford Road on the approach from the west. The site is substantially enclosed in most other views from the surrounding rural landscape due to the enclosure provided by intervening landform, by housing and mature tree/shrub vegetation along the southern site boundary, by buildings along the southern side of Guildford Road and by visual layers of woodland and other mature trees to the south, west and east.

6.0 THE PROPOSED DEVELOPMENT

6.1 Development Description

- 6.1.1 The development proposals for which outline planning permission is sought comprises the provision of up to 90 No. residential dwellings, with all matters to be reserved except for access.
- 6.1.2 The development master planning and design exercise has been led by landscape and visual considerations with careful attention given to the location and layout of the proposed housing and open space with regard to the conservation of landscape character, visual amenity, arboriculture and ecology.
- 6.1.3 Building heights would be predominantly limited to two storeys (with a small element of 2.5 storeys at the centre of the site) to reflect the rural village edge location of the site and to substantially accord with the Rudgwick Parish Design Statement Planning Guideline of “*Avoid vertical structures such as masts and buildings over two storeys, having regard for skyline features.*” The proposed housing would be of high quality, making use of vernacular architectural styles and materials. It would be designed to provide a positive contribution to local landscape character. Clusters of houses would be provided in both the eastern and western fields, as shown on the Illustrative Landscape Masterplan in **Appendix C**. A back-to-back arrangement of housing would be provided along the eastern section of the southern site boundary in accordance with good master planning practice.
- 6.1.4 Vehicular access would be provided off Guildford Road and the existing farm access off Lynwick Street would be retained as an emergency access.

6.2 Landscape Strategy

- 6.2.1 The Landscape Design Statement that forms part of the planning application documentation identifies the landscape vision and landscape character typologies for the Development. It also sets out strategies for children’s play, the hard landscape, green and blue infrastructure, tree/hedge/wildflower/rain garden/swale/amenity planting, biodiversity and ecology.
- 6.2.2 The Land Use, Green and Blue Infrastructure & Building Heights Parameter Plan provides for a set back of built development from field boundary vegetation. This vegetation would be incorporated into a framework of peripheral and central greenspaces where a feeling of naturalness would predominate. These greenspaces would include proposed intermittent

tree/shrub groups, as shown on the Illustrative Landscape Masterplan (**Appendix C**). Well-vegetated amenity greenspaces would also be provided within the built development area, as shown on the Illustrative Landscape Masterplan (**Appendix C**).

- 6.2.3 The Illustrative Landscape Masterplan (**Appendix C**) also shows how the proposed housing, roads and a surface water attenuation basin in the lower part of the eastern field would all be set back from retained site boundary hedgerows. These hedgerows would be reinforced with supplementary tree/shrub vegetation. The existing hedgerow along the site boundary with Guildford Road would be 'gapped up' and selectively widened. The existing well-treed hedgerow alongside Lynwick Street would be supplemented by new tree/shrub vegetation. The existing post-and-wire fence on the northern side of the site is likely to be re-located to the northern site boundary. A new tree/shrub belt would be provided alongside the northern site boundary to provide a clearly defined and well-vegetated edge for the expanded settlement.

- 6.2.4 The line of mature trees between the two fields are an important landscape asset and would be retained as a wildlife corridor and as a contributor to a well-vegetated housing area. A Local Area for Play (LAP) would be provided in the central part of the site and a play trail provided in peripheral areas. Community orchards would be provided in the western field.

- 6.2.5 The proposed network of semi-natural greenspaces would help create a strong sense of place and would include groups of scattered trees and shrubs, wild-flower areas and community orchards. A strong framework of trees would be provided along internal roads to help define spaces and to contribute to the well-treed nature of the neighbourhood.

- 6.2.6 A network of footpaths would be provided through peripheral greenspaces and these would connect with the retained public footpath, thereby enhancing connectivity in the local landscape. An access point would also be provided along the southern site boundary to facilitate a pedestrian connection to the Fox Inn public house.

- 6.2.7 The design proposals, as identified on this Illustrative Landscape Masterplan (**Appendix C**), provide for clear definition between public and private spaces, both in terms of function, character, ownership and management.

7.0 LANDSCAPE APPRAISAL

7.1 Introduction

7.1.1 This section provides an appraisal of the effects of the Development on the physical landscape and on landscape character at Year 1 and Year 15 following completion of the Development. The appraisal of effects has been based on the Land Use, Building Heights and Green/Blue Infrastructure Parameter Plan, the Access and Movement Parameter Plan. Reference is also made to the Illustrative Landscape Masterplan (**Appendix C**), which illustrates one way in which the housing and associated greenspaces could be developed.

7.1.2 Site appraisal and site context photographs are provided in **Appendix B**. The criteria for assessing magnitude of landscape change are set out in **Appendix D**. The appraisal excludes consideration of effects associated with construction works as these would be small-scale and temporary in nature.

7.2 Landscape Sensitivity

7.2.1 Field boundary hedgerows are relatively ordinary and readily replaceable but the associated mature oak trees are not readily replaceable in their mature form and their loss would potentially affect local landscape character. Landscape features and views that have relatively high susceptibility to change include:

- open pasture on rising land that contributes an undeveloped rural backdrop for Rudgwick and Bucks Green;
- skyline trees;
- attractive elevated views across Bucks Green to the well-treed valley on its southern side;
- the linear settlement pattern and character of Bucks Green;

7.2.2 The site has medium/high susceptibility to new housing on the basis of the above. Landscape sensitivity derives from the combination of susceptibility and value. The site and local landscape is considered to be of medium/high sensitivity based on its medium value and medium/high susceptibility to change.

7.3 Effects on the Physical Landscape

- 7.3.1 The southern parts of two pasture fields would be developed for new housing, roads and amenity greenspace. The proposed water attenuation basin and individual housing platforms would represent a low-level change to the existing site landform.
- 7.3.2 The proposed housing layout takes into account the Tree Protection Plan that has been prepared on the basis of the BS5837 Pre-Development Tree Condition Survey. The effects on existing trees and hedgerows are reported in the Arboricultural Impact Assessment that accompanies the planning application. Existing site boundary trees/hedgerows would be substantially conserved and the line of mature oak trees between the two site fields would be retained. Some tree/shrub vegetation would be removed from the southern site boundary to provide for new vehicular and pedestrian access.
- 7.3.3 A robust vegetation structure would be established along streets and in the proposed greenspaces, including a new tree/shrub belt alongside the northern site boundary to help achieve landscape integration. Areas of species-rich wildflower grassland and an orchard would also be established. The Development would result in significant beneficial effects in arboricultural terms as a result of the introduction of a substantial amount of new tree planting. It would result in a significant overall enhancement of the quantity, species range, age and ecological diversity of vegetation within the site. All retained and proposed vegetation would be managed to maximise its biodiversity value and to help ensure its healthy growth and contribution to the character of the site and surrounding landscape.
- 7.3.4 The recreation value of the site would be enhanced through provision of a centrally located children's play area and a new network of footpaths through greenspace corridors. These new recreational routes would connect with the existing settlement and also the wider rural landscape by way of Public Footpath 1386.

7.4 Effects on Landscape Character

- 7.4.1 The proposed housing and existing/proposed vegetation structure would be well integrated into the local landscape. The proposed housing area would be located alongside Bucks Green and would be confined to the far lower part of the hillslopes on the northern side of the settlement. The new built form would have a strong relationship with Bucks Green and would reflect the linear pattern, grain and character of the settlement. The architectural style and materials of the proposed housing would also reflect the character of existing village buildings. The location,

height, scale and massing of the new housing and the provision of well-vegetated green infrastructure corridors would avoid any physical or visual coalescence between Rudgwick and the expanded Bucks Green. The proposed framework of green infrastructure corridors would impart a strong semi-natural character to the local landscape.

- 7.4.2 The northern boundary of the site, which reflects that of the RD1 site allocation, does not follow any physical feature. The native tree/shrub belt proposed alongside this boundary would reflect the character of settlement boundary vegetation at Rudgwick and Bucks Green as well as the *“blocks and strips of interconnecting woodland”* that is one of the key characteristics of the Low Weald Hills LCA, as defined by the West Sussex County Council Landscape Character Assessment. It would provide a clear distinction between the expanded built-up area of the village and the open, pastoral landscape on the northern side of the site, thereby conserving the landscape setting of the village. It would also contribute to a well-treed skyline for the expanded settlement and provide a new generation of trees in the local landscape.
- 7.4.3 In terms of the key characteristics of LCA 11 (Rowhook and Rudgwick Ridge), as identified in the Horsham District Landscape Character Assessment, the *“densely wooded character”*, *“ridgetop villages and hamlets”* and *“rich collection of timber frame buildings in Rudgwick and surrounding area”* would all be conserved. The location of the new housing at a relatively low elevation in the landscape would not affect people’s ability to appreciate the *“local landmark of Rudgwick Church spire”*. The westernmost housing cluster would be located in the southern part of one of the *“small to medium size pasture fields”* around Bucks Green with resultant conflict with this key characteristic but the sub-division of this field would create a new small-scale pasture field on its northern side. The location of the remaining housing clusters in the southern part of the extensive area of pasture that extends up to Canfields Farm would not be in conflict with this *“secluded small to medium sized pasture fields”* key characteristic. The straight alignment of the northern site boundary tree/shrub belt would be in accordance with the *“sinuous and straight boundaries”* key characteristic for local pasture fields.
- 7.4.4 The Development would be in accordance with the following land management guidelines for the western Low Weald Hills LCA:

“Conserve and enhance rural wooded character”

“Maintain and strengthen the interlinking network of hedgerows, woodland and shaws.”

“Ensure any development respects historic settlement pattern and form, and building materials.”

“Avoid skyline development and ensure any new development is well integrated into the wider landscape.”

“Promote the planting of amenity trees throughout new housing development.”

- 7.4.5 The Development would result in a high magnitude of change to the site landscape but an overall low magnitude of landscape change to the local part of LCA I1 (Rowhook and Rudgwick Ridge) at both Year 1 and Year 15. There would be (1) a noticeable change affecting a relatively small area of land and the landscape setting of the existing villages; and (2) a slight loss or alteration to key characteristics of the character area. The new housing would have very limited characterising influence on the surrounding landscape due to the enclosure provided by existing and proposed trees/hedgerows, by buildings and vegetation at Rudgwick and Bucks Green and by the location of the new housing area at a relatively low level on the rising land on the northern side of Bucks Green. The loss of greenfield land would represent an adverse component of change to the landscape but there would also be a beneficial component to landscape change in terms of the character and quality of the development proposals. The overall low magnitude of change to the local part of LCA I1 at Year 1 and Year 15 would be of slight significance for this medium/high sensitivity landscape.

7.5 Effects on Dark Skies

- 7.5.1 The Development would have negligible effects on existing dark skies in the context of existing settlement edge light sources and the anticipated low-key nature of any lighting associated with the new housing area.

8.0 VISUAL APPRAISAL

8.1 Introduction

- 8.1.1 This section provides an appraisal of the effects on existing views at Year 1 (winter) and Year 15 (summer) following completion of housing development. The assessment in the summer of Year 15 is intended to take account of the growth of supplementary planting that has been incorporated into the development proposal. The appraisal of effects has been based on the Land Use, Building Heights and Green/Blue Infrastructure Parameter Plan, the Access and Movement Parameter Plan.
- 8.1.2 Reference is made to the site appraisal and site context photographs in **Appendix B**. The methodology for assessing potential visual effects is set out in **Appendix D**. The appraisal excludes consideration of effects associated with construction works as these would be small-scale and temporary in nature.

8.2 Effect on views from the north

- 8.2.1 The proposed housing would be seen to varying degrees from Public Footpath 1386 on the approach from the north (**Photographs 1 to 3**). In the view illustrated by **Photograph 3**, the field in the middle distance would remain open and new built form would extend horizontally across the background view. It would enclose existing views of housing and the cypress tree belt along the southern site boundary and would be seen substantially against a backdrop mature trees on the southern side of the site. Views towards the housing proposed in the western part of the site would either be substantially enclosed (summer months) or filtered (winter months) by the line of mature trees between the two site fields. The new built form would be readily noticeable in the background and would be in character with existing views towards the settlement.
- 8.2.2 The tree/shrub belt proposed along the northern site boundary would not be readily noticeable at Year 1. It would substantially enclose (summer months) or filter (winter months) views of the new built form by Year 15 although the roofs of the northernmost housing would be clearly seen about this partially mature vegetation. The proposed vegetation belt would, by Year 15, have a strong visual presence and help achieve a high degree of visual integration for the new housing.
- 8.2.3 The overall magnitude of visual change for high sensitivity recreational footpath users would be medium at Year 1 (winter), falling to low at Year 15 (summer) with resultant effects of major-moderate significance at Year 1 (winter) and moderate significance at Year 15 (summer). The

nature of the identified effects would be adverse as new housing would be introduced into existing views of agricultural fields.

8.3 Effect on views from the east

- 8.3.1 Views of the proposed built form from residential properties in Rudgwick are likely to be heavily filtered or enclosed by intervening trees. Views from the playing fields would be substantially enclosed (summer months) or filtered (winter months) by the mature tree/shrub vegetation along the eastern site boundary. The overall magnitude of visual change for medium sensitivity recreational users of the playing fields would be low at both Year 1 (winter) and Year 15 (summer) with resultant effects of slight significance. The nature of the identified effects would be adverse as new housing would be introduced into existing views of agricultural fields.

8.4 Effect on views from the south

- 8.4.1 At Year 1, there would be a high magnitude of change to views from the four residential properties that abut the eastern section of the southern site boundary. The magnitude of change would fall to medium by Year 15 as a result of the partial enclosure (summer months) or filtering (winter months) of the new built form by vegetation proposed within the peripheral greenspace framework, as identified on the Land Use, Building Heights and Green/Blue Infrastructure Parameter Plan. The resultant effects would be of major significance at Year 1 (winter) and major-moderate significance at Year 15 (summer). The nature of the identified effects would be adverse as new housing would be introduced into existing views of agricultural fields.
- 8.4.2 Views of the proposed housing from sections of Guildford Road to the south (**Photographs 11 and 12**) and from residential and commercial properties along its southern edge would be typically filtered (winter months) or partially enclosed (summer months) by retained tree/shrub vegetation along the southern site boundary. The upper parts of some of the proposed houses are likely to be seen above the site boundary vegetation when viewed from some of these residential and commercial properties. Retained vegetation would continue to provide a positive contribution to the well-vegetated character to Guildford Road. Views of the proposed vehicular junction would be obtained in the context of existing signage and road markings along Guildford Road. Some open views of the proposed housing would be available from the proposed junction. The overall magnitude of visual change for high sensitivity residents would be low at Year 1 (winter) and Year 15 (summer) with resultant effects of moderate significance. The overall magnitude of visual change for medium sensitivity road users would be low at Year 1 (winter) and Year 15 (summer) with resultant effects of slight significance. The nature of the effects would

be adverse as new housing would be introduced into existing filtered or glimpsed views of agricultural fields.

- 8.4.3 Views of the Development from Rudgwick Recreation Ground would be substantially enclosed by existing buildings along the southern side of Guildford Road (**Photograph 13**). Some of the new houses are likely to be seen through the gaps between existing houses in heavily filtered winter views but would not be visible in summer months due to the enclosure provided by intervening vegetation. The upper parts of some other proposed houses are also likely to be seen above some of the existing roof tops. They would result in a small increase in the vertical extent of built form in the view and views of these upper parts would be visually broken up by the retained line of mature trees between Fields 1 and 2. The overall magnitude of visual change for medium sensitivity users of the recreation ground would be low at Year 1 (winter) and Year 15 (summer) with resultant effects of slight significance.
- 8.4.4 Views of the Development from the valley floor and hillsides further to the south would be completely enclosed by intervening woodland and other mature trees in both the winter and summer months (**Photograph 14**).

8.5 Effect on views from the west

- 8.5.1 Views of the Development from northern sections of Lynwick Street would be substantially enclosed by intervening landform and/or the trimmed roadside hedgerow (**Photographs 4 and 6**). In oblique views from the section of Lynwick Street adjacent to the site (**Photograph 6**), the proposed housing would be seen well set back from the road with views partially enclosed by the site boundary hedgerow and its intermittent trees. New vegetation proposed within the western greenspace would, on partial maturity, further enclose views of the new built form. When travelling south along the road, the new housing would be seen in the context of existing buildings within the settlement on the southern side of Guildford Road. The overall magnitude of visual change for medium sensitivity road users would be medium at Year 1 (winter), falling to low at Year 15 (summer) with resultant effects of slight adverse significance.
- 8.5.2 Views of the proposed housing from the section of Guildford Road west of the Lynwick Street / Guildford Road junction would be substantially enclosed by intervening landform. Glimpses of the upper parts of some house roofs may be available at Year 1 to the rear of the hedgerow along the western site boundary (**Photograph 9**) or by the tree/shrub belt along the southern site boundary (**Photograph 10**). Views of these roofs would be further enclosed (summer months) or filtered (winter months) by the mature trees along the western site boundary. By Year 15, the

vegetation proposed within the western greenspace is likely to enclose (summer months) or heavily filter (winter months) views of these house roofs.

- 8.5.3 Views of the Development from publicly accessible locations (roads and public rights of way) further to the west would not be available due to the enclosure provided by intervening woodland (**Photographs 7 and 8**).

8.6 Views from within the site

- 8.6.1 There would be a high magnitude of change to views from the section of Public Footpath 1386 within the site (**Photograph A**) as the new housing would be visually prominent and would replace existing views of the eastern pasture field. The new housing would be seen on the far side of a proposed greenspace corridor with associated tree/shrub groups providing intermittent enclosure or filtering of views. Views of the houses would be further softened by well-vegetated amenity greenspaces proposed alongside housing in the built development area, as proposed in the Illustrative Landscape Masterplan (**Appendix C**). The section of Public Footpath 1386 south of the site has an enclosed character as it is lined by housing on both sides. The Development would result in the enclosed character of views associated with this southernmost section of footpath being extended northwards into the site. However, the character of this internal section of footpath would be relatively open and more vegetated.
- 8.6.2 The magnitude of visual change for high sensitivity users of the internal public footpath would be high at both Year 1 (winter) and Year 15 (summer) with resultant effects of major significance. It should be noted that this high magnitude of visual change would only be experienced from the relatively short (approximately 65m long) length of the footpath. The high level of visual change would apply both during the day and the night (as a result of the introduction of house lights and potentially some 'low-key', directional street lights).

9.0 RESPONSE TO LANDSCAPE PLANNING POLICIES

9.1 Response to Horsham District Planning Framework Policies

Policy 25 - Strategic Policy: The Natural Environment and Landscaper Character and Policy 26 - Strategic Policy: Countryside Protection

- 9.1.1 The Development would be in accordance with these policies as existing landscape character would be conserved. In terms of the key characteristics of LCA I1 (Rowhook and Rudgwick Ridge), as identified in the Horsham District Landscape Character Assessment, the “*densely wooded character*”, “*ridgetop villages and hamlets*” and “*rich collection of timber frame buildings in Rudgwick and surrounding area*” would all be conserved. The location of the new housing at a relatively low elevation in the landscape would not affect people’s ability to appreciate the “*local landmark of Rudgwick Church spire*”. The Development would also be in accordance with the following land management guidelines for the western Low Weald Hills LCA:

“Conserve and enhance rural wooded character”

“Maintain and strengthen the interlinking network of hedgerows, woodland and shaws.”

“Ensure any development respects historic settlement pattern and form, and building materials.”

“Avoid skyline development and ensure any new development is well integrated into the wider landscape.”

“Promote the planting of amenity trees throughout new housing development.”

- 9.1.2 A strong sense of settlement separated would be maintained between Rudgwick and Bucks Green. Existing trees and hedgerows would be substantially conserved and supplemented with additional native tree shrub species to strengthen the existing vegetation framework, to assist with carbon capture, help create shade and help adapt to climate change. It would provide a robust framework of multi-functional greenspaces that would help conserve the rural character of the local landscape and would accommodate outdoor playing space and other facilities for healthy living and recreation. These greenspaces would incorporate features to encourage biodiversity (orchard, wildflower meadow, hibernacula etc) and would retain and/or enhance existing features of nature conservation value within the site (trees, hedgerows etc). The GI corridors would also provide an important contribution to wildlife corridors.

Policy 27 - Strategic Policy: Settlement Coalescence and Policy 31 - Green Infrastructure and Biodiversity

- 9.1.3 The Development would be in accordance with these policies as there would be no physical or visual coalescence of settlements. It would contribute to the conservation, enhancement and amenity of the countryside through location of the new housing at a low level in the landscape/alongside the existing settlement edge, retention and enhancement of the existing tree/hedgerow framework and provision of a robust framework of multi-functional green infrastructure that would help conserve the rural character.

9.2 Response to Rudgwick Neighbourhood Plan Policies

Policy RNP17: Green Infrastructure and Trees

- 9.2.1 The Development would be in accordance with this policy as there would be substantial retention of existing trees and hedgerows. The Development would result in significant beneficial effects in arboricultural terms as a result of the introduction of a substantial amount of new tree planting. The Development would result in a significant overall enhancement of the quantity, species range, age and ecological diversity of vegetation within the site. The size of all proposed trees will be determined at Reserved Matters stage.

9.3 Response to Emerging Horsham Local Plan Policies

Strategic Policy 13: The Natural Environment and Landscape Character and Strategic Policy 14: Countryside Protection

- 9.3.1 The Development would be in accordance with these policies as the natural environment and landscape character of the District would be conserved through the sensitive location of the new housing area alongside the existing Bucks Green settlement edge and provision of a robust framework of green infrastructure for retention and enhancement of site vegetation, and provision of (1) sustainable drainage, (2) quiet informal recreational use in terms of children's play, exercise equipment and new recreational footpaths, (3) a community orchard and (4) biodiversity enhancements whilst delivering high-quality green spaces. A strong sense of settlement separated would be maintained between Rudgwick and Bucks Green.
- 9.3.2 The key features and characteristics of LCA 11 (Rowhook and Rudgwick Ridge) would be substantially conserved and the new built form would reflect the linear pattern, grain and

character of Bucks Green. The pattern of woodlands, trees and hedgerows would be conserved and there would only be low level changes to the site landform through the introduction of sustainable drainage basins and small scale housing platforms. The Development would have negligible effects on existing dark skies in the context of existing settlement edge light sources and the anticipated low-key nature of any lighting associated with the new housing area.

Strategic Policy 15: Settlement Coalescence and Strategic Policy 17: Green Infrastructure and Biodiversity

- 9.3.3 The Development would be in accordance with these policies as there would be no physical or visual coalescence of settlements. The Development would respect the landscape and contribute to the enhancement of the countryside setting through location of the new housing at a low level in the landscape/alongside the existing settlement edge, retention and enhancement of the existing tree/hedgerow framework and provision of a robust framework of multi-functional green infrastructure that would help conserve rural character and contribute to nature recovery, natural capital, ecosystem services, ecological connectivity, biodiversity gain and adaptation to climate change. New areas of publicly accessible open space and recreational footpaths would be provided.

Strategic Policy HA14: Rudgwick and Bucks Green

- 9.3.4 The Development would be in accordance with these policy as the Development would be accommodated with the RD1 site. The Land Use, Building Heights and Green/Blue Infrastructure Parameter Plan makes allowance for provision of a new tree/shrub belt in the northern part of the site to minimise landscape impacts. The Development has had appropriate regard to potential impacts on nearby Grade II Listed Buildings, as set out in the Heritage Statement.

9.4 Response to Rudgwick Parish Design Statement Policies

The Street Scene and Garden Frontages: General Policies

- 9.4.1 As indicated on the Illustrative Landscape Masterplan (**Appendix C**), the layout has been designed with space for planted frontages. Species selection will be determined at detailed design stage and use of a high proportion of native species is anticipated.

Boundaries

- 9.4.2 Native vegetation would be provided within the proposed greenspace framework and it is anticipated that a mixture of nature and non-native species, including evergreens, would be provided in front gardens and amenity greenspaces within the built development area. The design of paving materials and enclosures will be considered at Reserved matters stage. ,

Entrances and Drives

- 9.4.3 Proposed entrances would be in character with the proposed layout the property and drives would make use of porous or permeable materials.

Street Scene

- 9.4.4 As shown on the Illustrative Landscape Masterplan (**Appendix C**), streets would be well-treed and consideration has been given selective use of off-street parking. As set out in Section 8: Visual Appraisal, the Development has sensitively responded to the potential visibility of buildings from nearby fields and public rights of way.

10.0 CONCLUSIONS

10.1 Landscape Appraisal

Effects on the Physical Landscape

- 10.1.1 The southern parts of two pasture fields would be developed for new housing, roads and amenity greenspace. The proposed water attenuation basin and individual housing platforms would represent a low-level change to the existing site landform. Existing site boundary trees/hedgerows would be substantially conserved and the line of mature oak trees between the two site fields would be retained. Some tree/shrub vegetation would be removed from the southern site boundary to provide for new vehicular and pedestrian access. A robust vegetation structure would be established along streets and in the proposed greenspaces, including a new tree/shrub belt alongside the northern site boundary to help achieve landscape integration. Areas of species-rich wildflower grassland and an orchard would also be established.
- 10.1.2 The recreation value of the site would be enhanced through provision of a centrally located children's play area and a new network of footpaths through greenspace corridors. These new recreational routes would connect with the existing settlement and also the wider rural landscape by way of Public Footpath 1386.

Effects on Landscape Character

- 10.1.3 The proposed housing and existing/proposed vegetation structure would be well integrated into the local landscape. The proposed housing area would be located alongside Bucks Green and would be confined to the far lower part of the hillslopes on the northern side of the settlement. The new built form would have a strong relationship with Bucks Green and would reflect the linear pattern, grain and character of the settlement. The architectural style and materials of the proposed housing would also reflect the character of existing village buildings. The location, height, scale and massing of the new housing and the provision of well-vegetated green infrastructure corridors would avoid any physical or visual coalescence between Rudgwick and the expanded Bucks Green. The proposed framework of green infrastructure corridors would impart a strong semi-natural character to the local landscape.
- 10.1.4 The northern boundary of the site, which reflects that of the RD1 site allocation, does not follow any physical feature. The native tree/shrub belt proposed alongside this boundary would reflect the character of settlement boundary vegetation at Rudgwick and Bucks Green as well as the

“blocks and strips of interconnecting woodland” that is one of the key characteristics of the Low Weald Hills LCA, as defined by the West Sussex County Council Landscape Character Assessment. It would provide a clear distinction between the expanded built-up area of the village and the open, pastoral landscape on the northern side of the site, thereby conserving the landscape setting of the village. It would also contribute to a well-treed skyline for the expanded settlement and provide a new generation of trees in the local landscape.

10.1.5 In terms of the key characteristics of LCA I1 (Rowhook and Rudgwick Ridge), as identified in the Horsham District Landscape Character Assessment, the *“densely wooded character”*, *“ridgetop villages and hamlets”* and *“rich collection of timber frame buildings in Rudgwick and surrounding area”* would all be conserved. The location of the new housing at a relatively low elevation in the landscape would not affect people’s ability to appreciate the *“local landmark of Rudgwick Church spire”*. The Development would also be in accordance with land management guidelines for the western Low Weald Hills LCA.

10.1.6 The Development would result in a high magnitude of change to the site landscape but an overall low magnitude of landscape change to the local part of LCA I1 (Rowhook and Rudgwick Ridge) at both Year 1 and Year 15.

Effects on Dark Skies

10.1.7 The Development would have negligible effects on existing dark skies in the context of existing settlement edge light sources and the anticipated low-key nature of any lighting associated with the new housing area.

10.2 Visual Appraisal

Effect on views from the north

10.2.1 The proposed housing would be seen to varying degrees from Public Footpath 1386 on the approach from the north. In middle distance views, the proposed built form would be readily noticeable in the background and would be in character with existing views towards the settlement. It would enclose existing views of housing and the cypress tree belt along the southern site boundary and would be seen substantially against a backdrop mature trees on the southern side of the site.

- 10.2.2 The tree/shrub belt proposed along the northern site boundary would not be readily noticeable at Year 1. It would substantially enclose (summer months) or filter (winter months) views of the new built form by Year 15 although the roofs of the northernmost housing would be clearly seen about this partially mature vegetation. The proposed vegetation belt would, by Year 15, have a strong visual presence and help achieve a high degree of visual integration for the new housing. The overall magnitude of visual change for high sensitivity recreational footpath users would be medium at Year 1 (winter), falling to low at Year 15 (summer).

Effect on views from the east

- 10.2.3 Views of the proposed built form from residential properties in Rudgwick are likely to be heavily filtered or enclosed by intervening trees. Views from the playing fields would be substantially enclosed (summer months) or filtered (winter months) by the mature tree/shrub vegetation along the eastern site boundary. The overall magnitude of visual change for medium sensitivity recreational users of the playing fields would be low at both Year 1 (winter) and Year 15 (summer).

Effect on views from the south

- 10.2.4 At Year 1, there would be a high magnitude of change to views from the four residential properties that abut the eastern section of the southern site boundary. The magnitude of change would fall to medium by Year 15 as a result of the partial enclosure (summer months) or filtering (winter months) of the new built form by vegetation proposed within the peripheral greenspace framework. Views of the proposed housing from sections of Guildford Road to the south and from residential and commercial properties along its southern edge would be typically filtered (winter months) or partially enclosed (summer months) by retained tree/shrub vegetation along the southern site boundary. The overall magnitude of visual change for high sensitivity residents would be low at Year 1 (winter) and Year 15 (summer). The overall magnitude of visual change for medium sensitivity road users would be low at Year 1 (winter) and Year 15 (summer).
- 10.2.5 Views of the Development from Rudgwick Recreation Ground would be substantially enclosed by existing buildings along the southern side of Guildford Road. Some of the new houses are likely to be seen through the gaps between existing houses in heavily filtered winter views. The upper parts of some other proposed houses are also likely to be seen above some of the existing roof tops. The overall magnitude of visual change for medium sensitivity users of the recreation ground would be low at Year 1 (winter) and Year 15 (summer).

- 10.2.6 Views of the Development from the valley floor and hillsides further to the south would be completely enclosed by intervening woodland and other mature trees in both the winter and summer months.

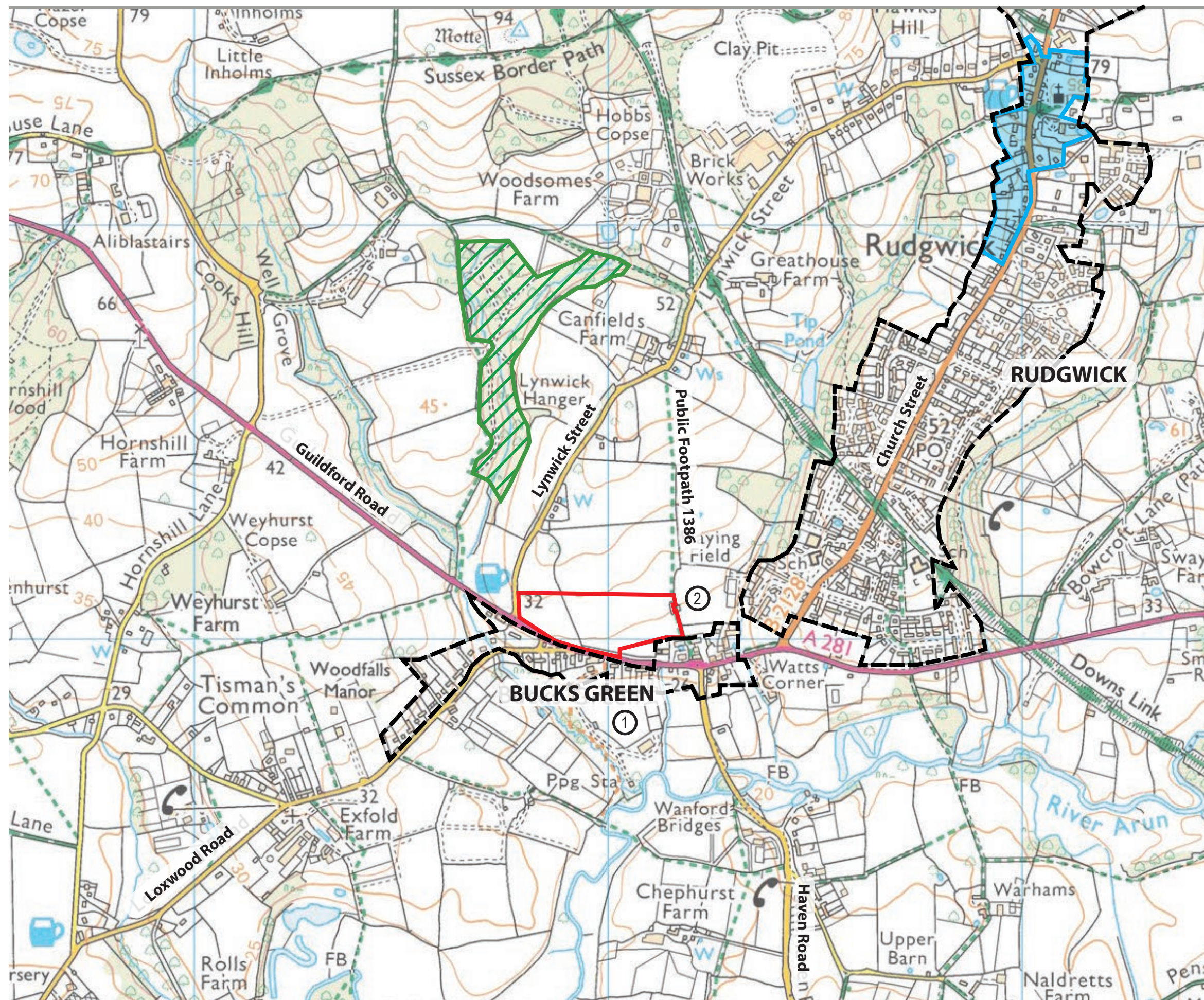
Effect on views from the west

- 10.2.7 In oblique views from the section of Lynwick Street adjacent to the site, the proposed housing would be seen well set back from the road with views partially enclosed by site boundary hedgerow and its intermittent trees. New vegetation proposed within the western greenspace would, on partial maturity, further enclose views of the new built form. The overall magnitude of visual change for medium sensitivity road users would be medium at Year 1 (winter), falling to low at Year 15 (summer).
- 10.2.8 Views of the proposed housing from the section of Guildford Road west of the Lynwick Street / Guildford Road junction would be substantially enclosed by intervening landform. Glimpses of the upper parts of some house roofs may be available at Year 1 to the rear of the hedgerow along the western site boundary or by the tree/shrub belt along the southern site boundary. Views of these roofs would be further enclosed (summer months) or filtered (winter months) by the mature trees along the western site boundary. By Year 15, the vegetation proposed within the western greenspace is likely to enclose (summer months) or heavily filter (winter months) views of these house roofs.

Views from within the site

- 10.2.9 There would be a high magnitude of change to views from the section of Public Footpath 1386 within the site as the new housing would be visually prominent and would replace existing views of the eastern pasture field. The new housing would be seen on the far side of a proposed greenspace corridor with associated tree/shrub groups providing intermittent enclosure or filtering of views. Views of the houses would be further softened by well-vegetated amenity greenspaces proposed alongside housing in the built development area. The magnitude of visual change for high sensitivity users of the internal public footpath would be high at both Year 1 (winter) and Year 15 (summer). This high magnitude of visual change would only be experienced from the relatively short (approximately 65m long) length of the footpath.

FIGURES



- Key**
- Site Boundary
 - Public Footpaths
 - Lynwick Hanger Local Wildlife Site*
 - Settlement Boundaries*
 - Rudgwick Conservation Area*
 - ① Rudgwick Recreation Ground
 - ② Pennthorpe Preparatory School Playing Fields

Notes
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 Ordnance Survey 0100031673
 * Horsham District Local Plan 2023-2040
 Regulation 19 Policies Map

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| | |
|-----------|--|
| Client | Welbeck Strategic Land IV LLP |
| Project | Land North of Guildford Road, Rudgwick |
| Dwg Title | Figure 1: Site Location and Context |
| Dwg No | NTS April 2025 |

LAND NORTH OF GUILDFORD ROAD, RUDGWICK



Key

- Site Boundary
- ① Rudgwick Recreation Ground
- ② Pennthorpe Preparatory School Playing Fields

Notes

2025 Google Earth/Landsat/Copernicus

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Client
Welbeck Strategic Land IV LLP

Project
Land North of Guildford Road, Rudgwick

Dwg Title
Figure 2: Local Landscape Aerial Photograph

Dwg No

NTS April 2025

LAND NORTH OF GUILDFORD ROAD, RUDGWICK



LAND NORTH OF GUILDFORD ROAD, RUDGWICK

Key

- Site Boundary
- ① The Fox Inn (Grade II listed)*
- ② The Old Cottage (Grade II listed)*
- ③ Field Cottage (Grade II listed)*
- ④ Goblin's Pool Hotel (Grade II listed)*
- ⑤ The Queen's Head Public House (Grade II listed)*
- ⑥ Bucks Green Place (Grade II listed)*
- Post and wire fence

Notes

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*historicengland.org.uk

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Client
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Project
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Dwg Title
Figure 3: Site Landscape Aerial Photograph

Dwg No
NTS April 2025

APPENDIX A

Character Profile for the Low Weald Hills LCA

Overall Character

Bordering Surrey in the north of the county, this area has a pastoral and densely wooded character. Low wooded ridges are dissected by steep wooded gills and narrow lanes. Interspersed between the woodland is a patchwork of mostly small to medium sized pastures enclosed by thick hedgerows and shaws. Homes and farms are scattered throughout this area. Remnant parkland and field corner ponds are recurring features. Despite the relative proximity of Gatwick Airport and Crawley to the east, the area retains a strong rural character.

Key Characteristics

- Undulating, low and densely wooded ridges running mostly east-west. Distinct escarpment to the north of Horsham and low escarpment at Rowhook.
- Blocks and strips of interconnecting woodland, including a large number of blocks of ancient woodland. Western area characterised by woodland of some size.
- Mostly rural character with intricate patchwork of small to medium size pasture fields with a combination of sinuous and straight boundaries. Larger, more open, field patterns in the east.
- Strong pattern of shaws and hedgerows enclosing fields with mature single oaks in hedgerows and fields.
- Network of narrow lanes, sometimes sunken, cross the area with strong definition north-south. Many of them are former droveways for cattle, pigs and sheep.
- Steep, secretive wooded gills.
- Hidden hammer ponds near Roman Woods with characteristic narrow form.
- Remnant parkland in the north east, north of Warnham.
- Includes the main tributaries of Arun; North River and Boldings Brook which meander through mostly narrow valleys with undulating valley sides, dissecting area north to south.
- Dispersed settlement pattern of scattered farms, cottages, hamlets and linear villages. Linear ridgetop villages such as Rudgwick and Rusper are set on higher ground. Farm cottages dispersed along lanes. Rusper forms a particularly attractive area with a traditional core. Some suburban development on village edges.
- Strong historic vernacular of sandstone, half timber and plaster/brick, tile hanging and weatherboarding. Rich collection of timber frame buildings in Rudgwick and surrounding area. Local landmark of Rudgwick Church spire.
- Occasional clay quarries/pits and brickworks. Notably in Kingsfold Valley.
- Suburbanisation along the A281.



Sheet LW4

Low Weald Hills

Low Weald

The area covered by the Sheet includes:

The Upper Arun Valley (Area PI), the Rowhook and Rudgwick Wooded Ridge (Area II), and the Warnham and Rusper Wooded Ridge (Area I2) Landscape Character Areas defined in the unpublished **Horsham District Landscape Character Assessment** (October 2003).



Historic Features

- Path of the Roman road, Stane Street.
- Moated sites.
- Small to medium-sized linear fields associated with old droveways.
- Small and large irregular fields carved out of woodland (assarts).
- Many historic farmsteads and cottages.
- Hammer ponds and remains of iron workings.
- Ancient woodland.

Biodiversity

- Extensive semi-natural broad-leaved woodlands linked by hedgerows and shaws particularly on the heavy clay hill tops and alongside gill valleys. Inter-connected woodland of special value.
- Many ancient semi-natural woodlands, but some coniferised.
- Woodland important for tree species such as small-leaved lime and wild service tree.
- Gill woodland.
- Mosses and liverworts in the gill woodlands are of national significance.
- Field corner ponds add to habitat interest. Support amphibian populations.
- Upper tributaries of the river Arun contain marginal vegetation and wetland trees.
- Many shaws.
- Unimproved pasture with a concentration south of Kingsfold valley.

Change - Key Issues

- Noise from Gatwick Airport.
- Localised development pressures for urban development.
- Localised intrusion from surburban features.
- Localised loss of hedgerows and shaws.
- Expansion of horse paddocks.
- Increasing development on narrow historic lanes.
- Increasing traffic pressures on narrow lanes and minor roads due to proximity of urban areas of Horsham, Crawley and around Gatwick.
- Poor woodland and hedgerow/shaw management.
- Poor pond management.
- Loss of parkland features and introduction of high fences in the Rudgwick and Rowhook area.

Landscape and Visual Sensitivities

Overall sensitivity to change is high. Despite the high degree of enclosure in many parts of the area, some ridgetops and slopes are prominent with distinctive long views to both North and South Downs and across the Crawley Vale to the High Weald Forests. *Key sensitivities are:*

- Loss of woodland along ridgetops and valley slopes.
- Cumulative impact of small scale change.
- Any large scale housing/commercial development.
- Cumulative impact of vertical structures on ridge slopes and ridgetops.
- Small scale incremental land management change, e.g. expansion of horse paddocks.
- Erosion of the narrow country lanes.
- Loss of parkland features, e.g. parkland specimen trees/tree belts etc in Rudgwick and Rowhook.
- Any development that would damage the integrity of gills or river valleys.
- Unsympathetic flood defences or works to hammer ponds.



Narrow lanes



Remnant parkland features

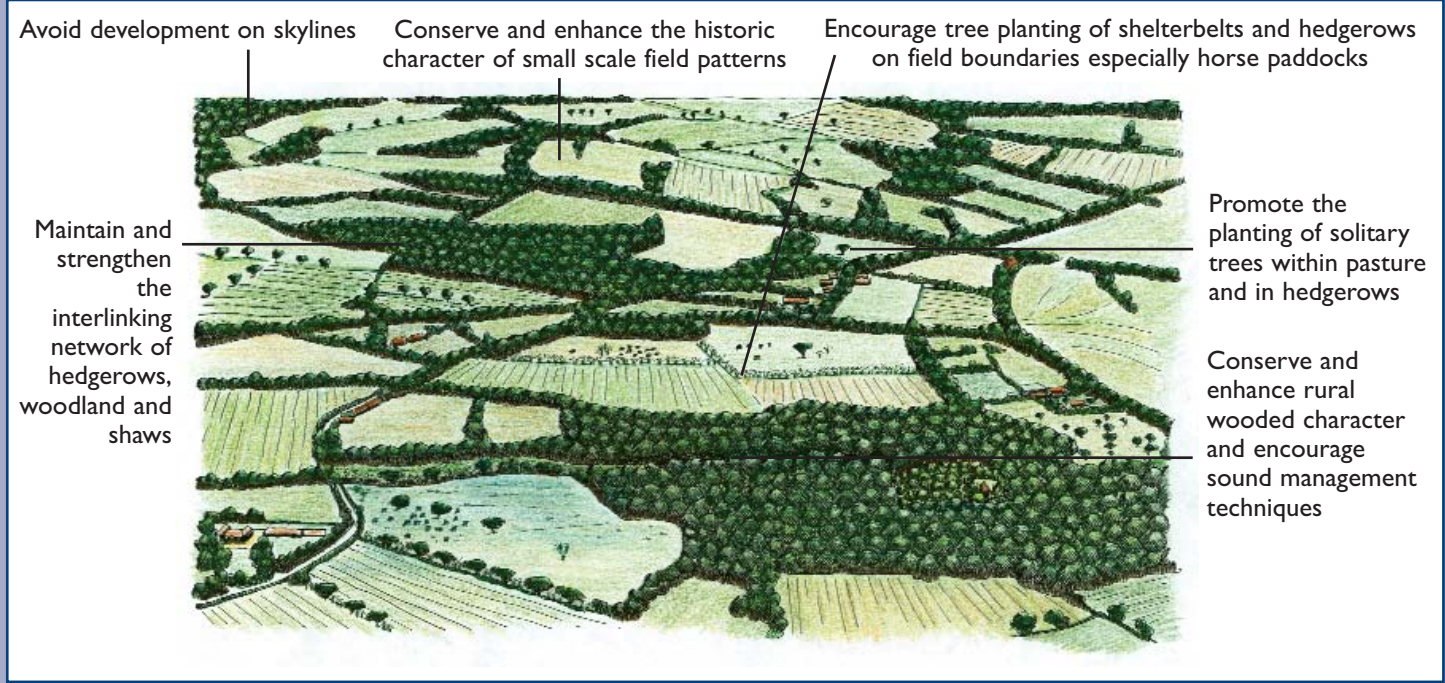


Small scale field patterns



Interlinking hedgerows, woodlands and shaws

Land Management Guidelines



Conserve the rural quality of the area including the pattern of the agricultural landscape, the intricate patchwork of small scale fields, and linked woodland, and the intimate and unobtrusive settlement pattern throughout much of the area.

- Conserve and enhance rural wooded character, including the distinctive form of ridgetop woodlands and gill woodlands. Encourage positive management and long term woodland regeneration.
- Maintain and strengthen the interlinking network of hedgerows, woodland and shaws. Restore shaws/hedgerows and single hedgerow trees throughout pasture land.
- Ensure any development respects historic settlement pattern and form, and building materials.
- Conserve and enhance the historic character of small scale field patterns, scattered development, and moated sites.
- Respect the historic character of rural roads and lanes notably those with sunken profiles. Consider appropriate traffic management strategies to reduce traffic pressures on the narrow lanes.
- Conserve the integrity and characteristic narrow form of hammer ponds.
- Conserve and replant parkland and garden features such as avenues and designed vistas, parkland trees and estate boundary features.
- Manage the upper tributaries of the Arun to retain nature conservation interest. Ensure any development respects the form, aspect and natural features of river valleys and watercourses.
- Maintain and manage field and woodland ponds, for landscape and nature conservation value.
- Consider the cumulative impact on landscape character of small developments and land-use change, and avoid the introduction of suburban styles and materials.
- Avoid skyline development and ensure any new development is well integrated into the wider landscape. Use new woodland, shaw and hedgerow planting as appropriate.
- Pay particular attention to the siting of telecommunications masts.
- Plant new woodland and hedgerows around village fringes and along busy urban routes such the A281. Promote the planting of amenity trees throughout new housing development.
- Establish screen planting around claypits and brickworks notably around the Kingsfold valley.
- Encourage more sympathetic management of horse paddocks. Avoid unsightly fencing. Encourage new hedge and tree planting outside unsightly fence lines. Conserve and enhance existing hedgerows and tree belts around paddocks.

The Guidelines should be read in conjunction with:


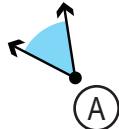

- County-wide Landscape Guidelines set out in *A Strategy for the West Sussex Landscape* (November 2005) published by West Sussex County Council.

APPENDIX B

Site Appraisal and Site Context Photographs



Key

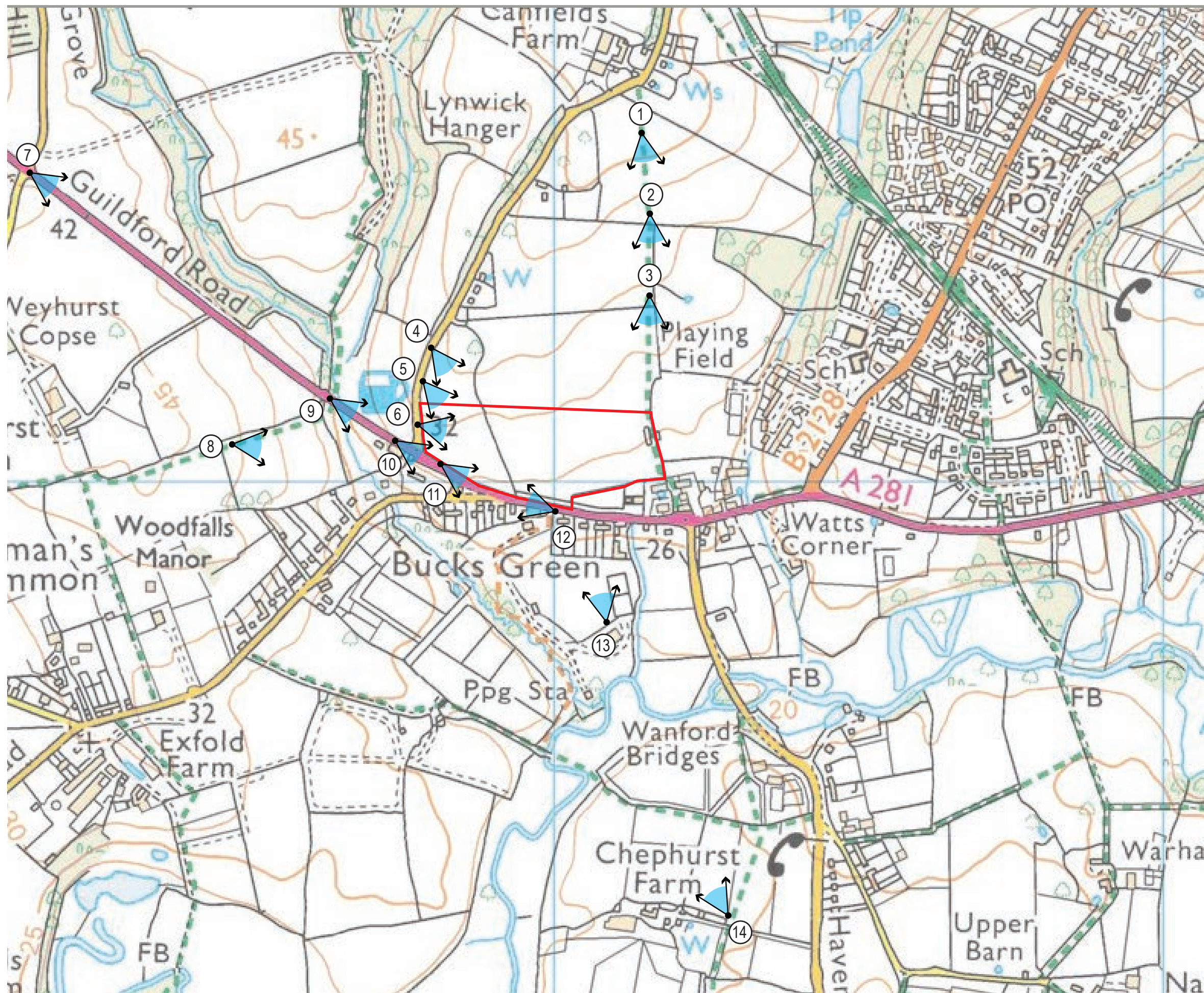
-  Site Boundary
-  Photographic Viewpoint Locations
-  Post and wire fence

Notes
2025 Google Earth/Landsat/Copernicus

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|-----------|---|
| Client | Welbeck Strategic Land IV LLP |
| Project | Land North of Guildford Road, Rudgwick |
| Dwg Title | Site Appraisal Photographic Viewpoints Scan |
| Dwg No | NTS April 2025 |

LAND NORTH OF GUILDFORD ROAD, RUDGWICK



Key

 Site Boundary

 Photographic Viewpoint Locations
①

Notes

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Project
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Dwg Title
Site Context Photographic Viewpoints Plan

Dwg No

NTS

April 2025

LAND NORTH OF GUILDFORD ROAD, RUDGWICK



Photograph A
View looking west to north across Field 2 from southern site boundary



Photograph B
View looking east to south across Field 2



Photograph C
View looking southeast to south across Field 1



Photograph D
View looking west to north across Field 1 from southern part of field



Photograph 1

View looking south to southwest from public footpath 1386 (1)



Photograph 2

View looking south to southwest from public footpath 1386 (2)



Photograph 3

View looking south to southwest from public footpath 1386 (3)



Photograph 4

View looking southeast towards site from Lynwick Street (1)



Photograph 5

View looking southeast towards site from Lynwick Street (2)



Photograph 6
View looking east towards site from Lynwick Street



Photograph 7
View looking southeast towards site from Guildford Road/Hornhill Lane junction



Photograph 8

View looking east towards site from public footpath on western side of Guildford Road



Photograph 9

View looking southeast towards site from Guildford Road (1)



Photograph 10
View looking southeast towards site from Guildford Road (2)



Photograph 11
View looking east from Guildford Road along southern site boundary



Photograph 12
View looking west from Guildford Road along southern site boundary



Photograph 13
View looking north towards site from Rudgwick Recreation Ground



Photograph 14
View looking north towards site from public footpath on western side of Haven Road

APPENDIX C

Illustrative Landscape Masterplan

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All dimensions are to be checked on site.
Area measurements for indicative purposes only.

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| A | Photoshop Plan Issue | 10/6/2025 |
| Rev | Description | Date |

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Project title
**LAND NORTH OF GUILDFORD ROAD,
RUDGWICK**

Drawing title
LANDSCAPE MASTERPLAN

| | | |
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| Issued By | SCARP | T: 020 7978 2101 |
| Scale | 1:750 @ A1 | Drawn SCARP |
| Status | PLANNING | Checked NG |
| Date | 10/6/2025 | Approved SK |

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| Drawing number | Revision |
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APPENDIX D

Criteria for assessing magnitude of landscape and visual change

Methodology for Appraising Landscape and Visual Effects

Landscape and Visual Appraisal (LVA) is a tool used to identify and appraise the effects of change resulting from development on both the landscape as an environmental resource in its own right and on people's views and visual amenity.

The methodology for appraising landscape and visual effects is based on the following best practice guidance:

- 'Guidelines for Landscape and Visual Impact Assessment, Third Edition (GLVIA 3), by the Landscape Institute and Institute of Environmental Management and Assessment, 2013;
- 'An Approach to Landscape Character Assessment', Natural England (October 2014)
- Assessing landscape value outside national designations, Landscape Institute Technical Guidance Note 02/21

The appraisal considers effects on landscape character and visual amenity, the approach to which is described below.

LANDSCAPE APPRAISAL

Effects on landscape character have been assessed by (1) Describing the character of the landscape (and/or townscape) surrounding the site, and evaluating its sensitivity to change and (2) Identifying the main sources of change due to the development and evaluating its magnitude.

Step 1: Landscape Character and Sensitivity Evaluation

Landscape receptors are identified, i.e. the constituent elements of the landscape, the aesthetic and perceptual qualities of the landscape and the character of the landscape in different areas. The Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (GLVIA3) defines landscape as a 'place' that results from the: *"interplay of the physical, natural and cultural components of our surroundings. Different combinations of these elements and their spatial distribution create the distinctive character of landscapes to be mapped, analysed and described. Character is not just about physical elements and features that make up landscape, but also embrace the aesthetic, perceptual and experiential aspects of the landscape that make places distinctive."* (GLVIA3 p. 21).

The character of the site and surrounding area has been described from published landscape and townscape character assessments and from fieldwork, taking account of attributes such as land-use, the pattern and scale of existing development, and the influence of vegetation on views and openness.

Sensitivity describes the ability of a landscape to accommodate change without affecting its intrinsic character (and especially its valued attributes). It is derived from two factors:

- Susceptibility, which defines the physical ability of a landscape to accommodate change; and
- Value, which defines the importance of a landscape, as recognized by relevant designations or by criteria such as scenic quality or recreational use.

GLVIA3 Para. 5.40 describes 'susceptibility to change' as *"the ability of the landscape receptor (whether it be the overall character or quality/condition of a particular landscape type or area, or an individual element and/or feature, or a particular aesthetic and perceptual aspect) to accommodate the proposed development without undue consequences for the maintenance of the baseline situation and/or the achievement of landscape planning policies and strategies."*

Indicators of landscape susceptibility are set out in **Table A1** below.

Table A1: Indicators of Landscape Susceptibility

| Sensitivity | Typically where the landscape: |
|-------------|--|
| High | <ul style="list-style-type: none"> • Is highly susceptible to change as components are rare and/or not easily replaced/substituted (e.g. mature trees, distinctive buildings). The landscape is largely unspoilt and of high scenic quality with high levels of positive perceptual qualities (e.g. tranquillity and seclusion) and distinctive elements and features that make a positive contribution to the character of the area. • Highly susceptible to change due, for example, to a high degree of openness or a high density of tree cover (that would require clearing), features such as hedgerows or a relative absence of built development. • Has limited scope for effective mitigation in character with the existing landscape and may offer some opportunities for the proposed development type to contribute to the attainment of landscape planning policies and strategies. |
| Medium | <ul style="list-style-type: none"> • Is moderately susceptible / reasonably tolerant to change as components are relatively ordinary and can be replaced/substituted. The landscape displays some positive landscape characteristics / scenic qualities but is generally unremarkable. Is mostly unspoilt albeit with some features or areas detracting from the character of the area (e.g. infrastructure and settlement edges). • Moderately susceptible to change due to a degree of openness or tree cover, but already influenced by built development. • Has some scope for effective mitigation in character with the existing landscape and may offer notable opportunities for the proposed development type to contribute to the attainment of landscape planning policies and strategies. |
| Low | <ul style="list-style-type: none"> • Has an overall low level of susceptibility to change as components are commonplace and can be readily replaced/substituted. The landscape displays few scenic qualities and may be degraded in areas. Likely to have some areas/features that are discordant, derelict or in decline, resulting in indistinct character with little or no sense of place. • Low susceptibility to change due to the prevailing influence of built development. • Has considerable scope for effective mitigation in character with the existing landscape and/or notable opportunities for character enhancement |
| Negligible | <ul style="list-style-type: none"> • Will be readily able to accommodate the proposed type of change as it is a landscape greatly affected by uncharacteristic development eroding scenic |

| Sensitivity | Typically where the landscape: |
|-------------|--|
| | <p>quality. The landscape has few or no distinctive or positive components, or has components that notably detract from character.</p> <ul style="list-style-type: none"> • Has considerable scope for effective mitigation in character with the existing landscape, and may offer significant opportunities to both create a new, positive landscape and to contribute to the attainment of landscape planning policies and strategies. |

Table A2 below sets out the criteria that are considered for determining landscape value. These are informed by the factors identified in Technical Guidance Note 02/21.

Table A2: Indicators of Landscape Value

| Level of value | Criteria for landscape value |
|----------------|--|
| High | <ul style="list-style-type: none"> • Designated areas at an International or National level (including, but not limited to, World Heritage Site, National Parks, AONB's) and also considered an important component of the country's character, experienced by high numbers of tourists. • Landscape condition is good and components are generally regularly maintained to a high standard. • Rare or distinctive elements and features are key components contributing to character. • A landscape of high aesthetic appeal and rich cultural associations. • A landscape with rich cultural and/or nature conservation resources. • An elevated level of tranquillity due to enclosure by land use, traffic and movement, light pollution and absence of major infrastructure. • Extensive and promoted opportunities are available for recreation. |
| Medium | <ul style="list-style-type: none"> • Designated areas at a Regional or County level (including, but not limited to, green belt, regional scale parks, designated as open space or a Conservation Area in local planning documents) and also considered a distinctive component of the region/county character experienced by a large proportion of its population. • Landscape condition is fair and components are generally well maintained. • Rare or distinctive elements and features are a notable component that contribute to the character of the area. • A landscape of moderate aesthetic appeal and cultural associations. • A landscape with some cultural and/or nature conservation resources. • Moderate levels of tranquillity due to land use, traffic and movement, light pollution and/or major infrastructure. • Opportunities are available for recreation. |
| Low | <ul style="list-style-type: none"> • No formal designations but a landscape of local relevance (including, but not limited to, public or semi-public open spaces, village greens or allotments) and also green infrastructure and open spaces within residential areas likely to be visited and valued by the local community. |

| Level of value | Criteria for landscape value |
|----------------|---|
| | <ul style="list-style-type: none"> • Landscape condition is poor/components generally poorly maintained or damaged. • Rare or distinctive elements and features are not a notable component that contribute to the character of the area. • A landscape of limited aesthetic appeal and cultural associations. • A landscape with limited cultural and/or nature conservation resources. • Limited levels of tranquillity due to land use, traffic and movement, light pollution and presence of major infrastructure. • There are few/no opportunities for recreation. |
| Very Low | <ul style="list-style-type: none"> • Landscape condition is very poor and components are poorly maintained or damaged. • The landscape does not contain any rare or distinctive elements and features. • A landscape of no aesthetic appeal or cultural associations. • A landscape with no cultural and/or nature conservation resources. • The landscape has low levels of tranquillity. • There are no opportunities for recreation. |

Step 2: Magnitude of Landscape Change

Landscape effects may include the loss or addition of particular features, changes to landscape quality and changes to landscape character. The main factors that will be considered are as follows:

- Changes to landscape elements: the addition of new elements or the removal of existing elements such as buildings, trees, vegetation, and buildings and other elements which may be characteristic of the landscape character type;
- Changes to landscape qualities: degradation or erosion of landscape elements and patterns, and perceptual characteristics, particularly those that form key characteristic elements of landscape character types; and
- Changes to landscape character: landscape character may be affected through the incremental effect on characteristic elements, landscape patterns and qualities (including perceptual characteristics) and the cumulative addition of new features, the magnitude of which is sufficient to alter the overall landscape character type of a particular area;

The magnitude of change on the landscape is influenced by:

- size and scale of the change - for example if there is a complete or partial loss of a particular element of the landscape;
- geographical extent of the area that will be altered; and
- duration of the change and its reversibility.

Factors that are considered in appraising the magnitude of landscape change are summarised in **Table A3** below. Any combination of factors may be considered when appraising the level of effect. This allows professional judgement to be used when determining the relative importance of different factors and this varies on a site-specific basis. Effects may be adverse or beneficial.

Table A3: Magnitude of Landscape Change Levels

| Impact magnitude | Criteria |
|------------------|--|
| High | <ul style="list-style-type: none"> • A prominent change that may be large in scale and / or extent and include the loss of key landscape characteristics, or the addition of new features or elements that will become the characteristics of the landscape, changing the overall landscape quality and character • Total loss of or substantial alteration to key characteristics of the character area, the setting of the character area, and/or the landscape setting of a heritage feature or area • Addition of new uncharacteristic features or components that substantially alter character and/or a large part of the setting of the character area • Introduction of irreversible change over a substantial area of an LCA or its setting • Introduction of long term or permanent change uncharacteristic of the area |
| Medium | <ul style="list-style-type: none"> • A noticeable / prominent change of more limited scale and extent including the loss of some key landscape characteristics or elements, or the addition of some new features or elements, that will potentially change the landscape character • Noticeable change or alteration to one or more key characteristics of the character area, the setting of the character area, and/or the landscape setting of a heritage feature or area • Addition of new features or components that form prominent elements of the character and/or setting of the character area, but are largely characteristic of the existing setting • Uncharacteristic changes across only a proportion of the character area or its setting • Introduction of some irreversible changes in parts of a character area or its setting • Introduction of medium to long term uncharacteristic changes and/or permanent changes largely characteristic of the existing setting |
| Low | <ul style="list-style-type: none"> • A noticeable change affecting small areas of landscape character where the Proposed Development will not quite fit into the landform and scale of the landscape or will add new features or elements of limited characterising influence. • Slight loss or alteration to one or more characteristics of the character area, the setting of the character area, and/or the landscape setting of a heritage feature or area • Addition of new features or components that form largely inconspicuous elements of the existing character and/or setting |

| Impact magnitude | Criteria |
|------------------|--|
| | <ul style="list-style-type: none"> • Introduction of short to medium term uncharacteristic changes and/or long term/permanent changes in a small proportion of a character area or its setting |
| Negligible | <ul style="list-style-type: none"> • A change affecting relatively small areas of landscape character where the Proposed Development will largely complement the scale, landform and pattern of the landscape and existing character and quality of the landscape will be substantially conserved. A change to the landscape setting of a heritage feature or area that is negligible or difficult to perceive. |

VISUAL APPRAISAL

The planning system is concerned with the protection of visual amenity as a public asset. Effects on visual amenity have been assessed by (1) identifying representative views from publicly accessible viewing positions and assessing the magnitude of change to each and (2) evaluating the sensitivity of the view on the basis of the types of receptor affected and its contribution to their amenity.

Step 1: Identifying Views and Magnitude of Impact

The magnitude of effect on views reflects both physical changes (e.g. obstructing or opening up a view) and changes to their composition or character (e.g. introduction of built development where none is currently visible). It is made up of judgements about:

- size and scale of the effect - for example is there complete or partial loss of a particular element in the view;
- geographical extent of changes in view; and
- duration of the change and their reversibility.

The factors that are considered in appraising the magnitude of change to views are summarised in **Table A4** below. Effects may be adverse or beneficial.

Table A4: Magnitude of Visual Change Levels

| Impact magnitude | Criteria |
|------------------|--|
| High | <ul style="list-style-type: none"> • The proposals form a significant and immediately apparent part of the scene, appearing as a prominent and contrasting feature • Total loss or substantial alteration to key characteristics of the view from a receptor • Addition of new features or components that are continuously highly visible across the majority of the view and out of character from a receptor • Substantial changes in proximity to the visual receptor, within the direct frame of view |

| Impact magnitude | Criteria |
|------------------|--|
| | <ul style="list-style-type: none"> • Introduction of long term or permanent change uncharacteristic of the view |
| Medium | <ul style="list-style-type: none"> • A readily noticeable change to the view, where change is evident but is not the key feature in the view • Noticeable change or alteration to one or more key characteristics of the view from a receptor • Addition of new features or components that may be continuously highly visible across much of the view, but are largely characteristic of the existing view from a receptor • Changes a relatively short distance from the receptor, but viewed as one of a series of components in the middle ground of the view • Substantial change partially filtered by intervening vegetation and/or built form, or viewed obliquely from the visual receptor • Introduction of medium to long term change uncharacteristic of the view and/or permanent changes largely characteristic of the existing view or in a small proportion of the view |
| Low | <ul style="list-style-type: none"> • Minor changes to the view that will not be readily noticeable, affecting a small proportion of the view that may be obliquely viewed or partly screened and/or appearing in the background landscape. May be a transient view obtained over short periods and capable of being missed by casual observers. • Slight loss or alteration to one or more characteristics of the view from a receptor • Addition of new features or landscape components that may be continuously or intermittently visible in part of the view, but are largely characteristic of the existing view from a receptor • Changes within the background of the view, viewed as one of a series of components in the wider panoramic view from a receptor • Change largely filtered by intervening vegetation and/or built form, or viewed obliquely from the visual receptor. • Introduction of short to medium term change uncharacteristic of the view and/or long term/permanent changes in a small proportion of the view. |
| Negligible | <ul style="list-style-type: none"> • Changes to just a minor element in the overall view where change is barely perceptible. • Very minor or barely perceptible loss or alteration of largely inconspicuous characteristics of the view from a receptor. |

Step 2: Assessing the Sensitivity of the View

Visual sensitivity may be defined as the overall degree to which people are potentially affected by changes in views and visual amenity, taking into account their activities, the degree of interest that they may have in views and visual amenity and the value attached to views. The sensitivity of views reflects:

- Receptor sensitivity, based on the assumption that people's sensitivity to visual change varies according to their activity and their proprietorial interest in the views they experience; and
- The contribution the views make to their amenity (e.g. attractive views from identified viewpoints, public open space or gardens).

The sensitivity of different visual receptors to the proposed development is appraised in accordance with the criteria set out in **Table A5** below.

Table A5: Visual Receptor Sensitivity Criteria

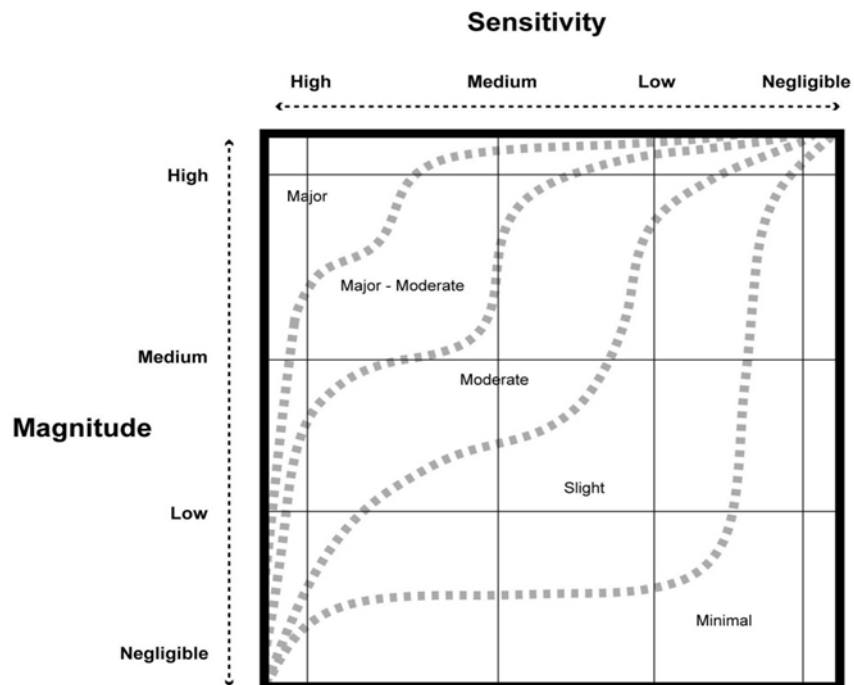
| Sensitivity | Visual Receptors and Views |
|-------------|---|
| High | <ul style="list-style-type: none"> • Occupiers of residential properties. • Recreational users or tourists whose attention may be focussed on the landscape (e.g. visitors to the AONB, users of the PRow network). • Designated or protected views. |
| Medium | <ul style="list-style-type: none"> • People travelling along scenic roads through the landscape. • People staying in hotels and healthcare institutions. • People walking along residential streets. • People engaged in outdoor sport or recreation, which involves some appreciation of views of the landscape (e.g. cricket). • Users of research facilities, where staff may walk between buildings and expect a high-quality working and living environment |
| Low | <ul style="list-style-type: none"> • People at work and in educational institutions. • People engaged in formal sports activities that does not involve appreciation of views of the landscape. • People walking through urban areas (for example commuters). • People travelling on main roads through the landscape. |
| Negligible | <ul style="list-style-type: none"> • People at their place of work or other locations where views of the wider landscape have little or no importance (e.g. occupants of some industrial sites or commercial developments). • View affected by many landscape detractors and unlikely to be valued. |

ASSESSMENT OF SIGNIFICANCE FOR LANDSCAPE AND VISUAL EFFECTS

The process of forming a judgment on the significance of an effect is based upon an assessment of the magnitude of change affecting the landscape or the views experienced by people, combined with the sensitivity of the 'receptor' to change of the nature proposed, i.e. the landscape itself or the viewer. Thus, a high level of change affecting a highly sensitive receptor (landscape resource or viewer) will be more significant than a small degree of change affecting less sensitive landscape or visual receptors.

The level of significance will be a factor influencing planning decisions and it is therefore important that judgments on sensitivity, magnitude of change and overall significance of effect

are clearly understood, and a measure of proportion established. An indication of the likely level of significant effect is set out in the diagram below.



Levels of Significance for Landscape and Visual Effects [Based on EIA significance evaluation matrix, Institute of Environmental Management & Assessment, June 2011]

Significant effects in terms of whether it is a material consideration in the decision making process are those that are Major-Moderate or Major.



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