

To: Mr W McKay
Lovell Partnerships Ltd
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By email only

Our ref: 117299-100/IM/BSC
Date: 23 September 2025

Dear Mr McKay

Horsham Enterprise Park, Wimblehurst Road, Horsham RH12
Lovells Site (Phase 1 & 2) - Daylight & Sunlight

Thank you for your recent correspondence regarding Building 3 at the Former Novartis Site. I understand that, following our Daylight & Sunlight Amenity Report dated 12 March 2025, revised plans have been prepared which propose the replacement of the wings of Building 3 (Blocks C11–C15), rather than undertaking structural repair works as previously envisaged.

I have now reviewed the revised design drawings and set out below my advice in relation to the potential changes in daylight and sunlight amenity within the proposed residential units.

Design amendments

The overall building form and general internal layouts for Blocks C11–C15 remain broadly unaltered from the previously assessed scheme. The main amendments we have identified are as follows:

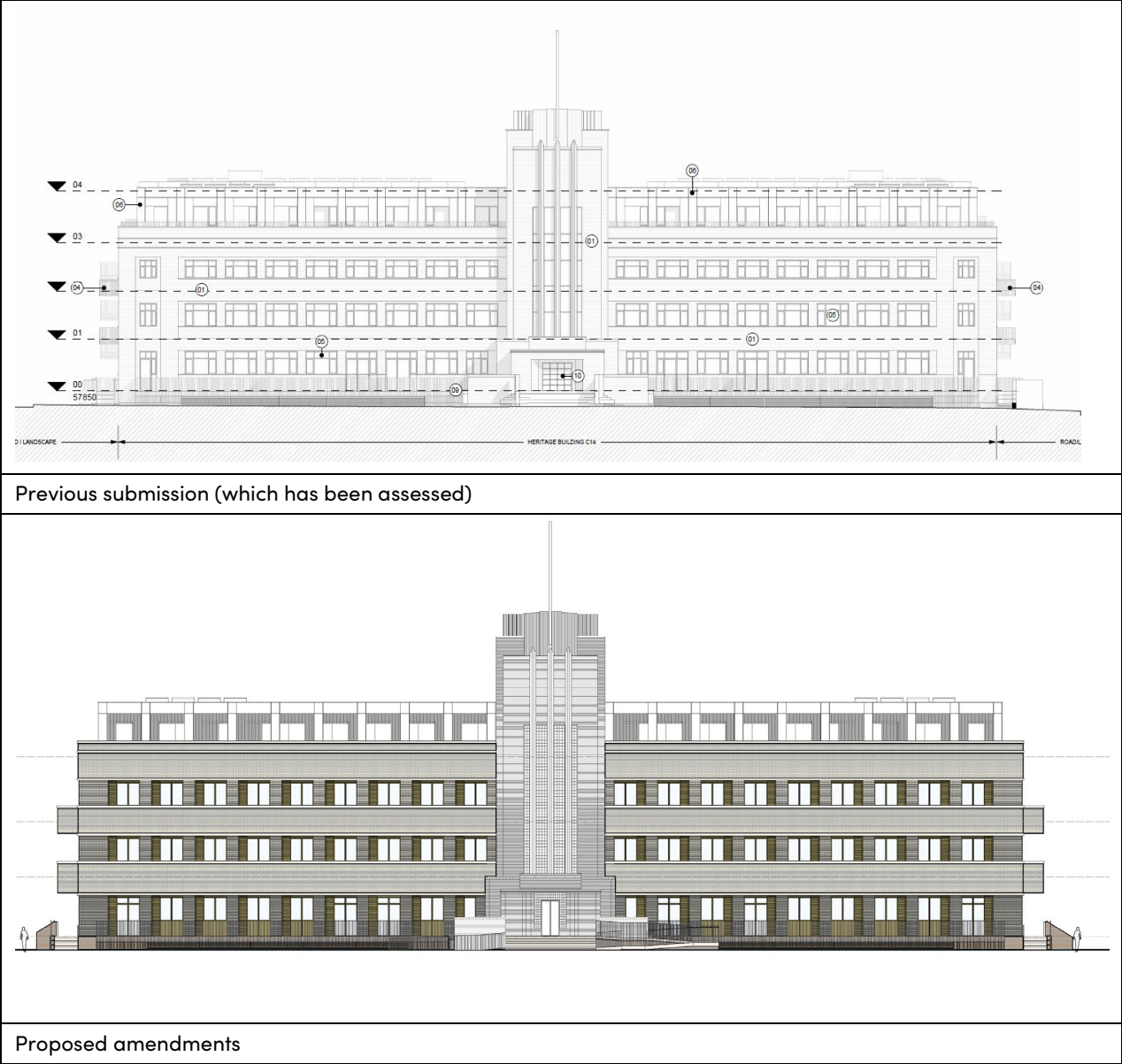
- Adjustment to the positions of certain balconies.
- Reduction in the width of some window openings compared to the earlier design.
- Introduction of solid external wall panels to balconies, replacing the more open treatments previously shown.

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The drawings we have reviewed are listed in the table below:

Drawing title	Author	Date received
HOR-ACG-ZZ-04-DR-A-2005-P5.pdf	Ayre Chamberlain Gaunt	15 September 2025
HOR-ACG-ZZ-BF-DR-A-2000-P5.pdf		
HOR-ACG-ZZ-RF-DR-A-2006-P5.pdf		
HOR-ACG-ZZ-ZZ-DR-A-4000-P4.pdf		
HOR-ACG-ZZ-ZZ-DR-A-4002-P4.pdf		
HOR-ACG-ZZ-ZZ-DR-A-4003-P4.pdf		
HOR-ACG-ZZ-00-DR-A-2001-P5.pdf		
HOR-ACG-ZZ-01-DR-A-2002-P5.pdf		
HOR-ACG-ZZ-02-DR-A-2003-P5.pdf		

Drawing title	Author	Date received
HOR-ACG-ZZ-03-DR-A-2004-P5.pdf		

Daylight and Sunlight

The previous internal daylight analysis for Building 3 (Blocks C11–C15) demonstrated that the majority of rooms comfortably achieved the BRE daylight targets. Most living/kitchen/dining (“LKD”) rooms are dual aspect, which provides good levels of natural light.

A small number of rooms fell marginally below the target values, primarily within Blocks C11–C14. These blocks are the most constrained parts of the scheme due to their relationship with the retained heritage building (Block C14) and the form of the internal courtyard. In addition, several of the affected rooms sit beneath projecting balconies, which inevitably limit daylight penetration but at the same time provide valuable private amenity space.

It is clear from the original technical results that the principal daylight to these rooms is provided through their main façade windows, which remain present in the revised design. The recent amendments (i.e., modest reductions in window widths and changes to balcony detailing) are therefore not anticipated to materially alter the results previously recorded.

Importantly, the rooms within this building that met the BRE targets were already achieving well above the recommended daylight levels. This indicates that they had a strong margin of compliance and are therefore highly unlikely to be altered by the revised design.

Conclusion

Overall, while very slight reductions could occur in isolated instances, the majority of rooms would continue to meet the BRE’s recommended targets, and the conclusions of the original assessment remain valid.

Please do let me know if you have any general questions.

Yours sincerely



Barney Soanes-Cundle
Senior Associate