
Job name: Land West of Shoreham Road, Small Dole

Job No: BR31013

Note No: BR31013-JNP-XX-XX-RP-C-1002

Date: 16/10/2025

Prepared by / Approved by: AS / RSH

Subject: DC/25/1019 – LLFA comments response

1. Introduction

- 1.1 JNP Group were instructed by Wates Developments to produce a Technical Note in response to comments raised by West Sussex County Council Lead Local Flood Authority (LLFA).
- 1.2 Wates Developments submitted an outline planning application under reference DC/25/1019 for up to 45 dwellings with all matters reserved apart from access.
- 1.3 Comments were issued by the LLFA on the 1st of September 2025. Each comment has been copied across into this technical note for ease of reference and is shown in “*blue italics*” below. JNP’s response has been included in black text addressing each comment.

1). “The topographic survey provided is not clear for the watercourse along the southern boundary of the site, which it is proposed to discharge to (see below example). We require a more comprehensive topographic survey with top of bank and bed levels. Please ensure any existing and proposed structures are clearly marked with invert levels and pipe diameters. In particular, this should include the culvert(s) immediately upstream to the East and the proposed outfall headwall. This will enable us to ensure a gravity connection from the site is feasible and to assess flood risk more accurately.”

- 1.4 A new topographical survey has been procured to provide the additional detailed requested by the LLFA. See attached appendix. The topographical survey now supplies the additional features requested and we believe this will allow the LLFA to undertake their assessment.

2). “There appears to be high groundwater levels at some points at the site, and exceedance within the system during the 1:100 plus climate change event. These factors cause a concern regarding finished floor levels and exceedance flows, particularly in the northern residential area. Please provide a plan showing the depth and extent of exceedance within the 1:100 plus climate change event overlaid on the site plan.”

- 1.5 The SuDS features indicated on plan have been included into the drainage model, as an update. This inclusion reduced the flooding of the surface water network. Therefore, there is no flooding in the 1:100+climate change event.

3). “The proposed basin does not appear to have a sufficient easement for access of 3m, and its proximity to the proposed pumping station is a contamination concern during significant flood events. A revision to the layout should be considered. We are aware this is an outline application, however it needs to be demonstrated there is space for necessary attenuation and easements within the site.”

- 1.6 3m access had been proposed to all required headwalls, however, the shape of the proposed attenuation basin has been amended to allow for a full 3m maintenance strip around the basin. See submitted amended proposed drainage plans. The foul pumpstation has been moved to allow further separation of the two features. The foul pumpstation will also have a slightly lower FFL to the top of the attenuation basin, therefore there will be no contamination risk to the attenuation basin.

4). "The drainage strategy states the impermeable area is 0.804ha, however the drainage plan has 0.84ha including a 10% allowance for urban creep. Please can any revisions be made to ensure consistency."

- 1.7 The drainage strategy has been updated to align and indicate 0.843ha including urban creep.

5). "Similarly, the correct allowance for climate change (45%) has been utilised for the drainage calculations, however the drainage strategy states an allowance of 40% has been employed. Please can this be amended to ensure consistency."

- 1.8 The drainage strategy has been updated accordingly, see submitted revised strategy.

Document Issue Record

Technical Note No	Rev	Date	Prepared	Reviewed	Approved
RP-C-1002	P01	16/10/2025	AS	RSH	RSH

Appendix A – LLFA comments

Appendix B – Topographical Survey

Appendix C – Revised Drainage Strategy Plan

This document is for the sole use and reliance of JNP Group's client and has been prepared in accordance with the scope of the appointment of JNP Group and is subject to the terms of that appointment.

JNP Group accepts no liability for any use of this document other than by its client and only for the purposes for which it has been prepared.

No person other than the client may copy (in whole or in part) or use the contents of this document, without the prior written permission of JNP Group.

Any advice, opinions or recommendations within this document should be read and relied upon only in the context of this document as a whole.

Any comments given within this report are based on the understanding that the proposed works to be undertaken will be as described in the introduction. The information referred to and provided by others and will be assumed to be correct and will not have been checked by JNP Group, JNP Group will not accept any liability or responsibility for any inaccuracy in such information.

Any deviation from the recommendations or conclusions contained in this report should be referred to JNP Group in writing for comment and JNP Group reserve the right to reconsider their recommendations and conclusions contained within. JNP Group will not accept any liability or responsibility for any changes or deviations from the recommendations noted in this report without prior consultation and our full approval.

Appendix A – LLFA Comments

Lead Local Flood Authority

- 2) There appears to be high groundwater levels at some points at the site, and exceedance within the system during the 1:100 plus climate change event. These factors cause a concern regarding finished floor levels and exceedance flows, particularly in the northern residential area. Please provide a plan showing the depth and extent of exceedance within the 1:100 plus climate change event overlaid on the site plan.
- 3) The proposed basin does not appear to have a sufficient easement for access of 3m, and its proximity to the proposed pumping station is a contamination concern during significant flood events. A revision to the layout should be considered. We are aware this is an outline application, however it needs to be demonstrated there is space for necessary attenuation and easements within the site.
- 4) The drainage strategy states the impermeable area is 0.804ha, however the drainage plan has 0.84ha including a 10% allowance for urban creep. Please can any revisions be made to ensure consistency.
- 5) Similarly, the correct allowance for climate change (45%) has been utilised for the drainage calculations, however the drainage strategy states an allowance of 40% has been employed. Please can this be amended to ensure consistency.

ADVISORIES

- Any responses should follow the recently updated National Standard for SuDS (July 2025)
- Attention is directed to 6.8 of the above in particular, as dual purpose swales are proposed in the drainage strategy, these will need to comply with the SuDS standards and the relevant Biodiversity Net Gain guidance.

Upon receipt of the above we will be in a position to comment further.

Yours sincerely,

Natalie Biddulph
Flood Risk Management Team
FRM@westsussex.gov.uk

Annex:
Documents considered as part of this response:

Flood Risk Assessment and Drainage Strategy Rev P03 03/04/25
Reference: BR31013-JNP-XX-XX-RP-C-1001 P01

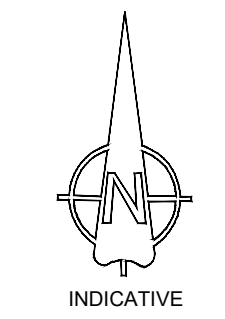
Appendix B – Topographical Survey

Notes:

All information contained in this drawing (including digital data) should be checked and verified prior to any fabrication or construction.

Grid coordinates are based on an OS GNSS system on a plane grid with a scale factor of 1.0000.

———— Original survey (completed by others)



Tree Schedule				
Pt No	Spread	Bow	Height	Species
27	8.0	0.25	7.0	NAPLE
28	8.0	0.25	7.0	NAPLE
29	8.0	0.25	7.0	NAPLE
30	9.0	0.40	8.0	WILLOW
31	9.0	0.30	11.0	NAPLE
43	12.0	0.50	14.0	NAPLE
45	12.0	0.50	15.0	NAPLE
51	12.0	0.40	15.0	OAK
53	7.0	0.30	8.0	WILLOW
54	12.0	0.50	15.0	NAPLE
55	20.0	0.90	20.0	OAK
75	14.0	0.50	17.0	SYCAMORE
77	4.0	0.30	5.0	ROWAN
77	8.0	0.40	12.0	NAPLE
80	12.0	0.40	13.0	SYCAMORE
83	10.0	0.40	10.0	NAPLE
84	14.0	0.80	16.0	NAPLE
87	12.0	0.50	17.0	NAPLE
88	12.0	0.40	14.0	NAPLE
90	12.0	0.50	15.0	NAPLE
96	9.0	0.50	13.0	ASH
97	15.0	0.65	15.0	OAK
100	12.0	1.20	20.0	OAK
140	8.0	0.40	7.0	WILLOW
141	8.0	0.40	7.0	WILLOW
142	8.0	0.40	7.0	WILLOW
151	7.0	0.25	8.0	OAK
151	7.0	0.25	8.0	OAK
152	6.0	0.25	8.0	OAK
156	8.0	0.50	8.0	ASH
156	8.0	0.40	8.0	ASH
157	8.0	0.50	8.0	WILLOW
200	10.0	0.50	11.0	NAPLE

Sheet Layout

The sheet is divided into four quadrants, each containing a large number inside a circle. The top-left quadrant is labeled '1' and has a red background. The top-right quadrant is labeled '2' and has a grey background. The bottom-left quadrant is labeled '3' and has a grey background. The bottom-right quadrant is labeled '4' and has a grey background.

[illegible]

Rev. Suffix	Date	Initial	Revision Details						
Surveyor	MS	Verified By	MS	CAD Operator	ARL	Approved By	MS	Date	16.09.25
Levelling		GNSS		Datum		OSGB36			

Client

Wates

Location	New Hall Lane Henfield
----------	---------------------------

Drawing Title

Topographical
Survey - Sheet 1 of 4

Job No. 2506057	Old Job No.
Drawing Number W/2506057/1	Revision Suffix
Scale 1:200m (A0)	Date September 2025

 **CD SURVEYS LTD**
LAND, BUILDING & SITE ENGINEERING

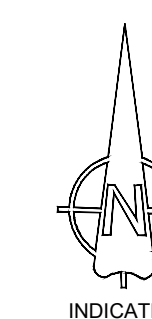
PENTIRE - STABLE 1 Tel (01932) 761196
FORDBRIDGE ROAD, Fax (01932) 786419
SUNBURY-ON-THAMES Email: mail@cdsurveys.com
MIDDLESEX, TW16 6AX Visit us at: www.cdsurveys.com

Notes

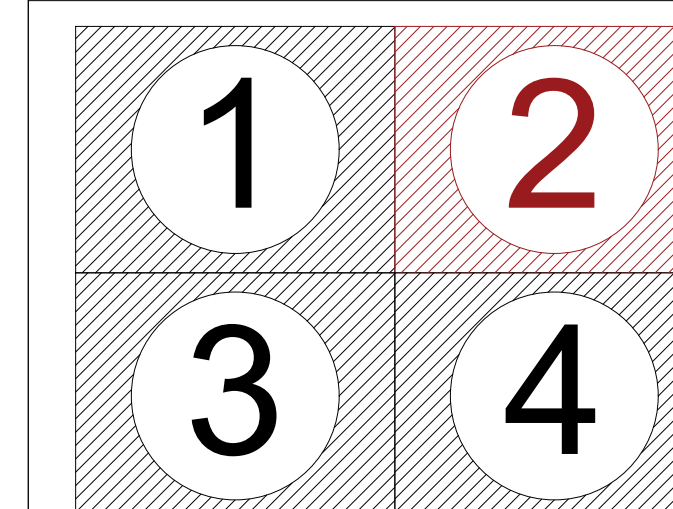
All information contained in this drawing
(including digital data) should be checked and
verified prior to any fabrication or construction.

Grid coordinates are based on an OS GNSS system on a plane grid with a scale factor of 1.0000.

—— Original survey (completed by others)



Sheet Layout



Legend

[illegible]

Rev. Suffix		Date		Initial		Revision Details			
Surveyor	MS	Verified By	MS	CAD Operator	ARL	Approved By	MS	Date	
Levelling		GNSS			Datum		OSGB36		

To an OS GNSS Datum

Client



Location

New Hall Lane
Henfield

Drawing Title

Topographical
Survey - Sheet 2 of 4

Job No. 2506057	Old Job No.
Drawing Number WJ2506057/2	Revision Suffix

Scale 1:200m (A0)	Date September 20
----------------------	----------------------

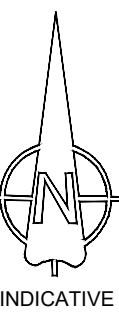


Notes:

All information contained in this drawing
(including digital data) should be checked and
verified prior to any fabrication or construction.

Grid coordinates are based on an OS GNSS system
on a plane grid with a scale factor of 1.0000.

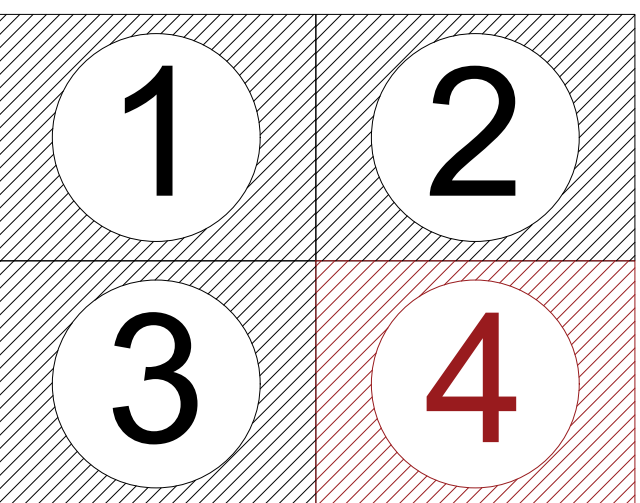
—— Original survey (completed by others)



INDICATIVE

112980N

Sheet Layout



Legend

[illegible]

Rev. Suffix		Date		Initial		Revision Details				
Surveyor	MS	Verified By	MS	CAD Operator	ARL	Approved By	MS	Date	16.09.25	
Levelling		GNSS			Datum		OSGB36			

To an OS GNS Datum

Client

Location

Drawing Title

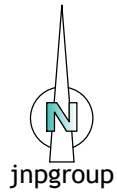
Topographical
Survey - Sheet 4 of 4

Job No. 2506057	Old Job No.
Drawing Number	Revision Suffix

Scale 1:200m (A0)	Date September 2025
----------------------	------------------------



Appendix C – Revised Drainage Strategy Plan



Legend

- Indicative site boundary
- Indicative plot finished floor level (FFL)
- Indicative road contour levels (0.1m intervals)
- Proposed surface water sewer
- Proposed foul water sewer
- Headwall
- Proposed foul water rising main
- Existing foul water sewer
- Proposed conveyance swale
- Proposed attenuating swale (water retention for BNG)
- Attenuation basin
- RPA Category B
- RPA Category C
- Rain Gardens

General Notes

- Where this drawing has been issued in electronic .dwg format, it has been done so in good faith. JNP Group do not take any responsibility for any inaccuracies in the electronic data, which should be checked against the paper (or .pdf) drawing issue. Any apparent discrepancies should be immediately reported to JNP Group. The electronic .dwg file should not be assumed to be to scale and should not be used for 'overlaying', setting out or checking of any third party information. All dimensions should be taken from the paper (or .pdf) version of the drawing. Electronic drawings may contain third party information. JNP Group take no responsibility for this information, which should be checked against the originators paper drawing(s).
- All dimensions are millimetres (mm), and levels are in metres (m) unless noted otherwise and should be checked on site prior to construction/fabrication.
- Do not scale from this drawing. Only figured dimensions are to be relied upon. Don't hesitate to get in touch with JNP Group if additional information is required.
- Any discrepancies between drawings of different scales and between drawings and specifications, where appropriate, to be reported to JNP Group for decision.
- Copyright reserved. This drawing may only be used for The Client and location specified in the title block. It may not be copied or disclosed to any third party without the prior written consent of JNP Group.
- This drawing should only be used for construction if the drawing status is "A4 - Approved/Stage Complete". JNP Group takes no responsibility for construction works undertaken to drawings that are not marked with this status.

Health & Safety Note

The details on this drawing have been prepared on the assumption that a competent contractor will be carrying out the works. If the contractor(s) considers that there is insufficient Health and Safety information on this drawing, this should immediately be brought to the attention of the designer.

HAZARD IDENTIFICATION BOX			
This table is provided to assist the Principal Contractor to fulfil their obligations under the CDM Regulations 2015			
Hazard Ref	Hazard Type (Construction Method/ Material/ Clearing/Excavation/Adaptation)	Hazard Description	Mitigation Measures/ Residual Risk
▲			

Drainage Strategy Notes

- The proposals shown on this drawing are indicative only and subject to detailed design.
- Drainage network has been designed in Flow based on the following parameters:
 - FEH Rainfall Data
 - Impermeable Area +10% urban creep: 0.84hectares

Rev	Date	Description	Drawn / Checked / Approved
P05	16/10/2025	Basin extents amended to LLFA comments	A/RS/HRSH
P04	11/06/2025	Pipe 3.001 and outfall HW4 location amended	OBR/SHRSH
P03	03/04/2025	Updated with latest site boundary and proposed still water swale	OBR/SHRSH
P02	24/02/2025	Updated with latest site layout and topso, foul water rising main Mit added as per rev cloud	OBR/SHRSH
P01	07/02/2025	Issued for information	OBR/SHRSH

S3 - Suitable for Review & Comment

Client Logo:

Amersham • Belfast • Brighouse • Bristol
Hartlepool • Sheffield • Warwick
www.jnpgroup.co.uk

Client:

Wates Developments Ltd

Job:

Land West of Shoreham Road,
Small Dole

Title:

Proposed Drainage Strategy

Classification:

FL_60_20

Scale @ A1:

1:500

Project - Originator - Volume/System - Level/Location - Type - Discipline - Number

BR31013- JNP - 92 -XX- DR -C -C 2001

Reason:

P05