

APPENDIX 1 – PROPOSED SITE LAYOUT



Key

Residential Parking - Demand (PBZ2)

	Number of Dwellings	Spaces Per Dwelling	Total Required
1 Bedroom Dwellings	35	1.4	49
2 Bedroom Dwellings	97	1.7	164.9
3 Bedroom Dwellings	114	2.1	239.4
4+ Bedroom Dwellings	58	2.7	156.6
Visitor	304	20%	60.8
Total			670.7
Total with 10% reduction			603.63

Residential Parking - Provided

	Total
On-plot parking spaces	285
Garages (110 garages counted at 50%)	55
Allocated parking spaces	146
Unallocated parking spaces	129
Visitor	67
Total	682

Commercial Parking

Demand	190m ² @ 1 space per 14m ²	14
Provided		14

Station Parking

Provided	50
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PLANNING AND DESIGN
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For:



Riverdale
Developments Ltd

Job:
Mercer Road, Horsham

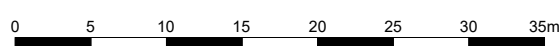
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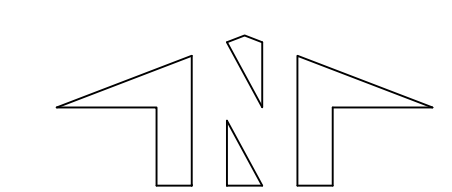
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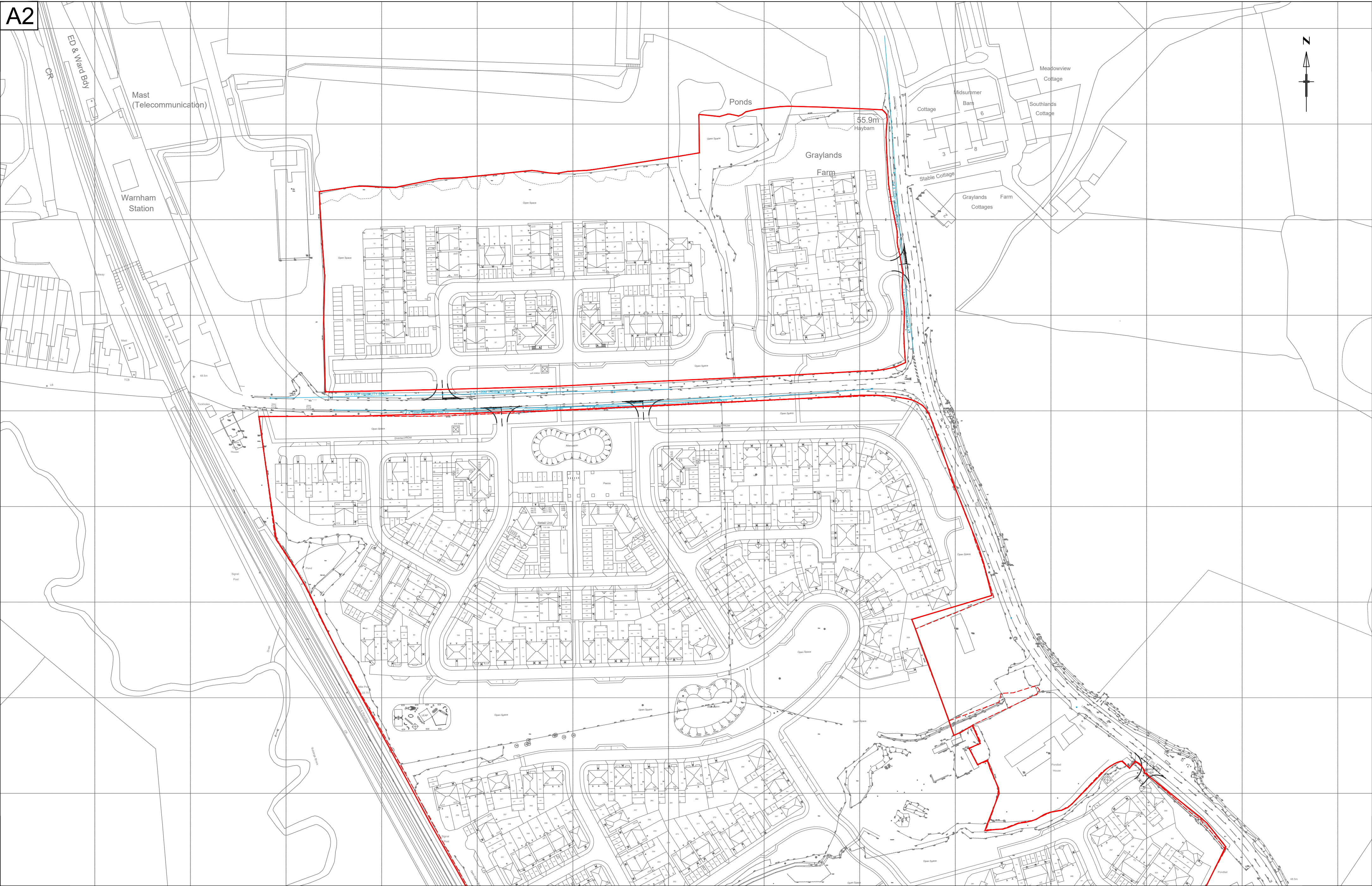
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