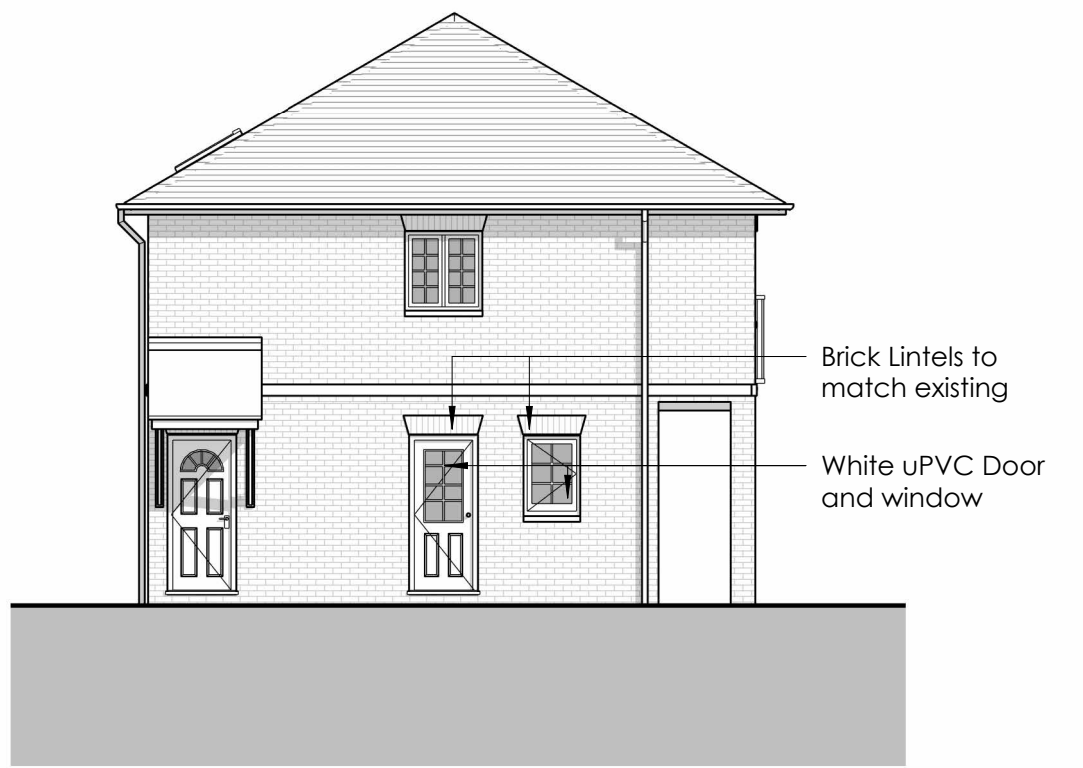
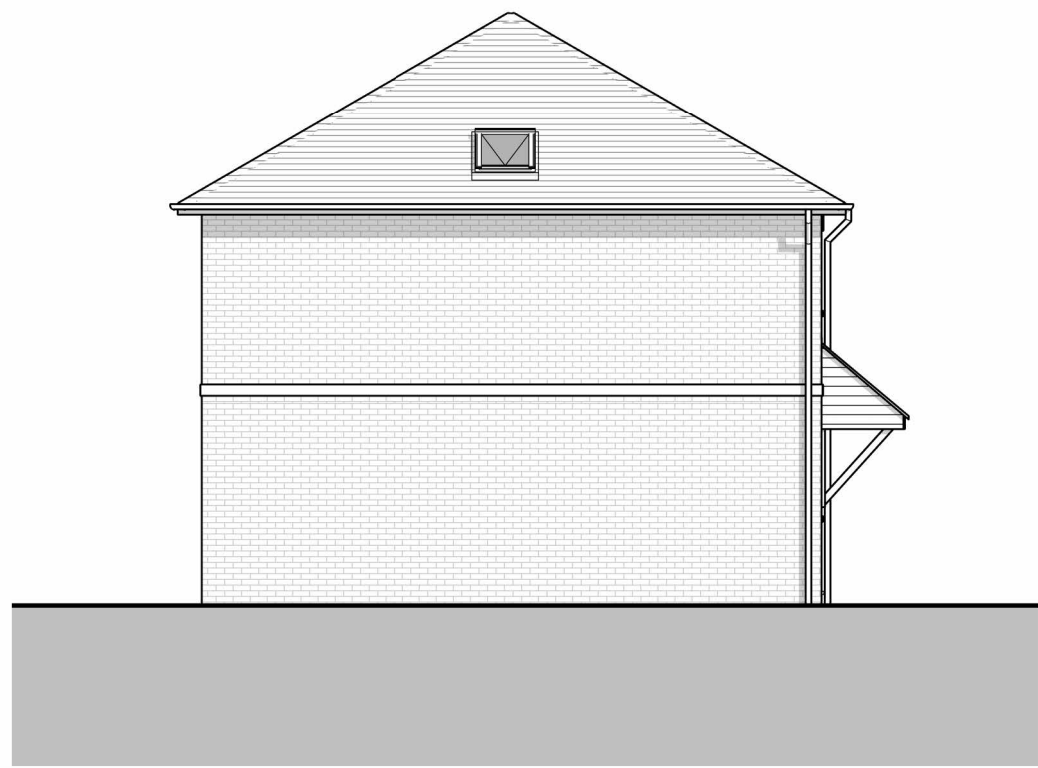




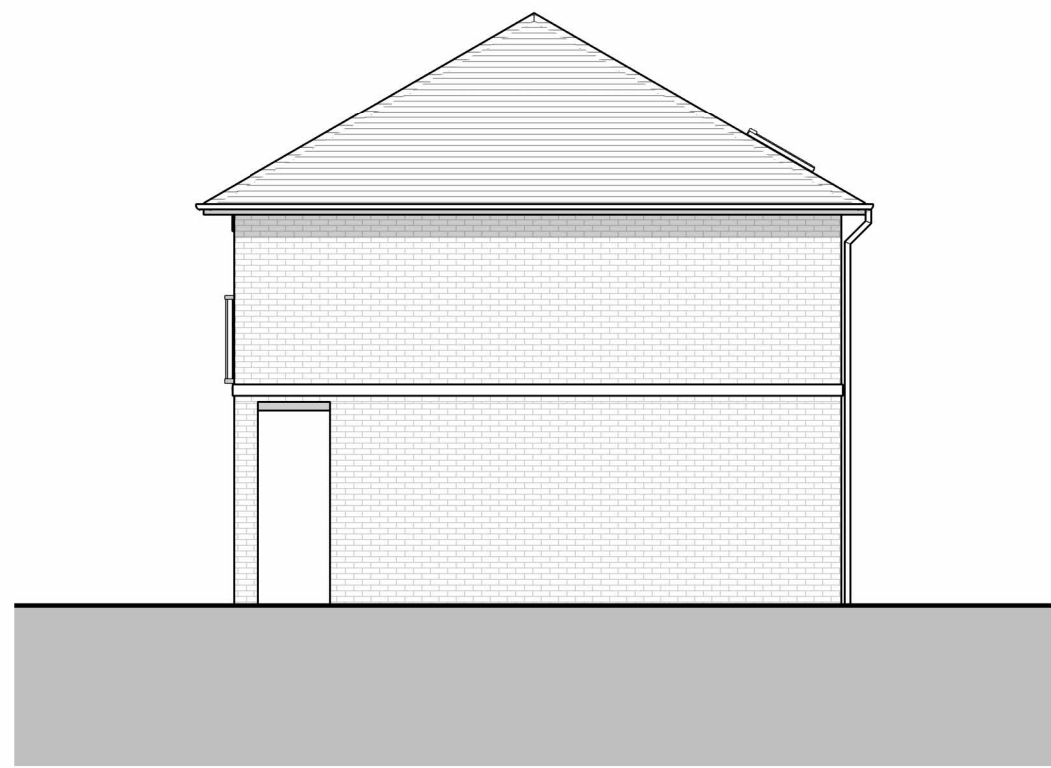
1 Elevation 1 - South Elevation - PL
1 : 100



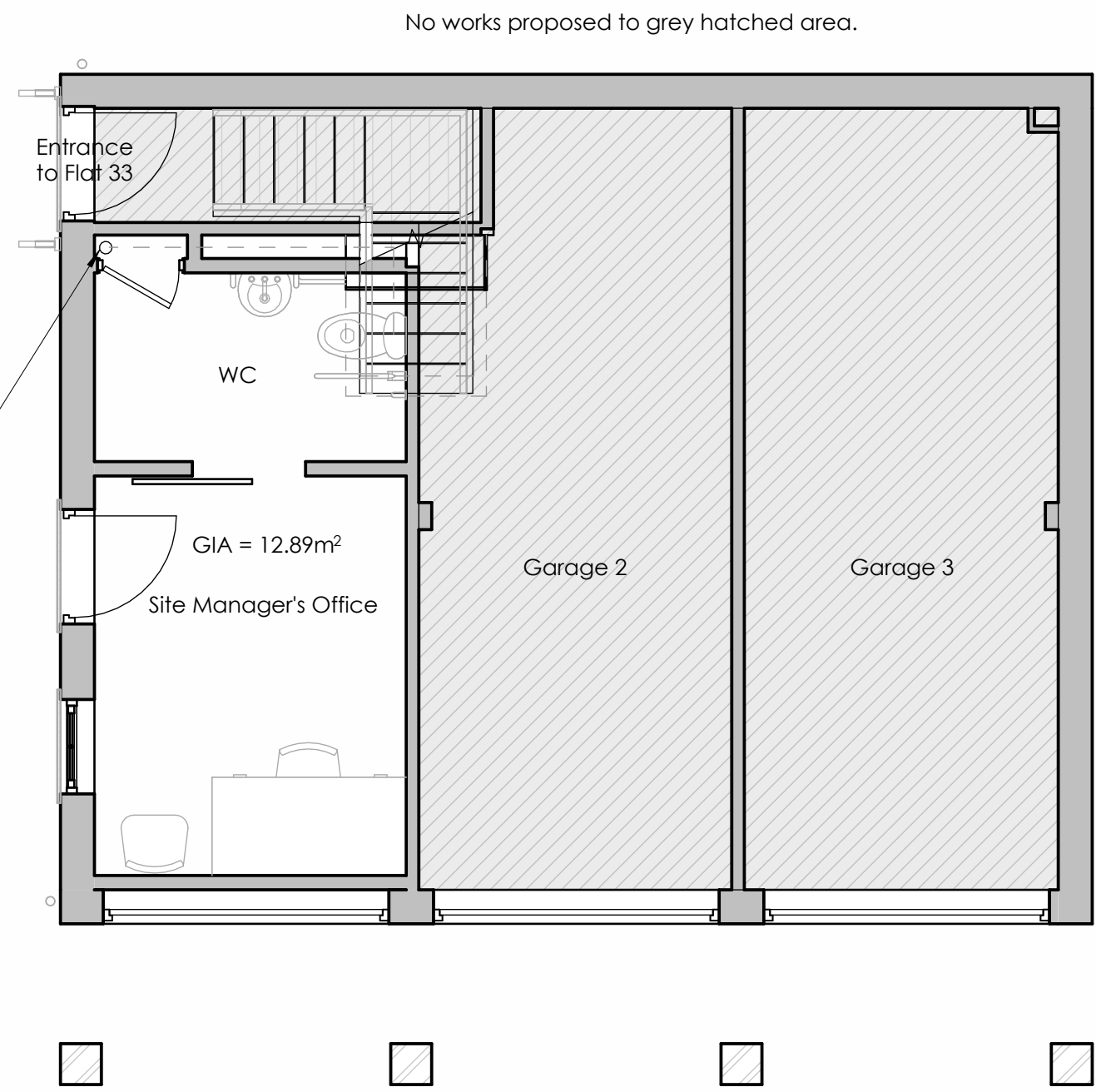
2 Elevation 2 - West Elevation - PL
1 : 100



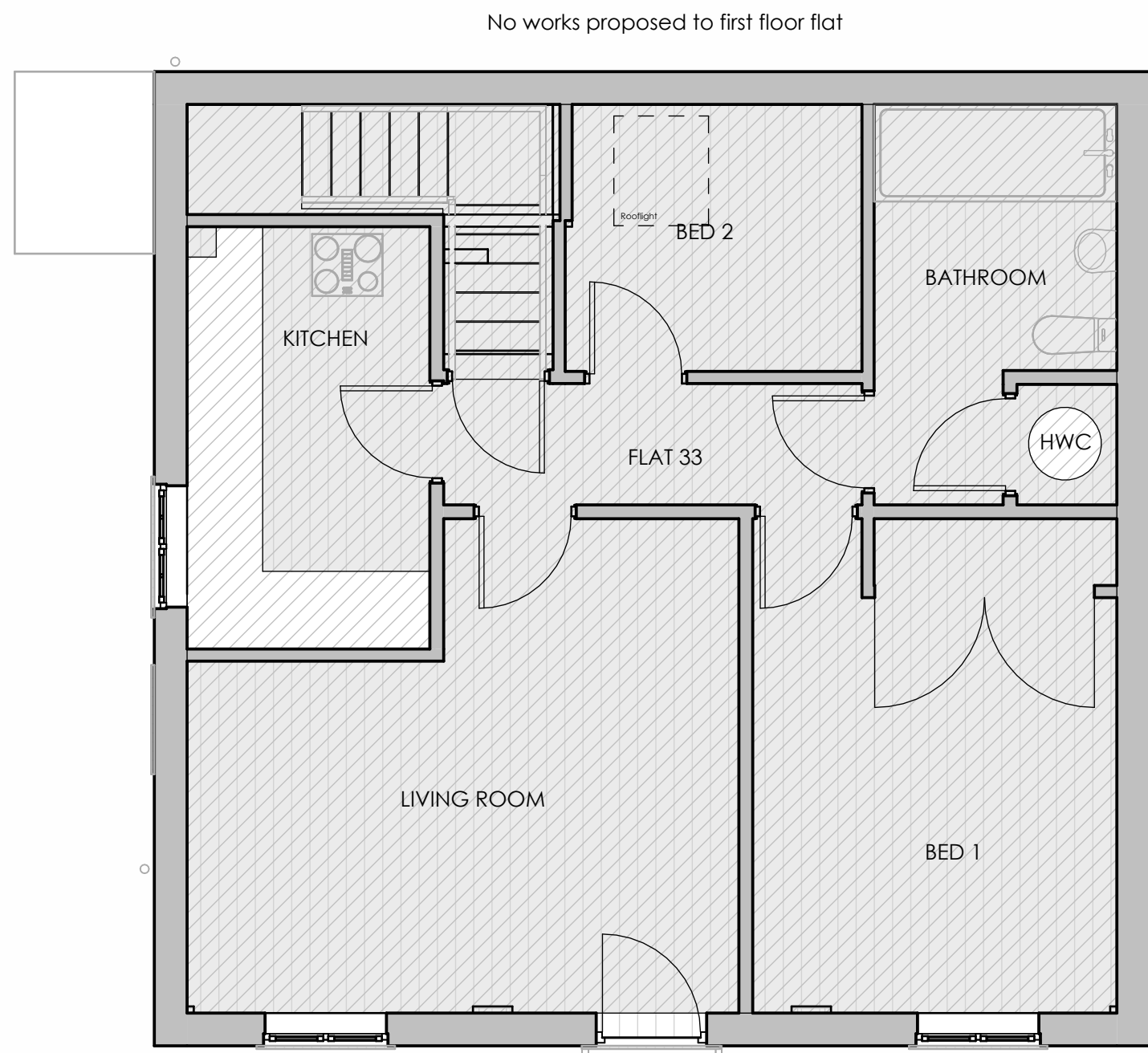
3 Elevation 3 - North Elevation - PL
1 : 100



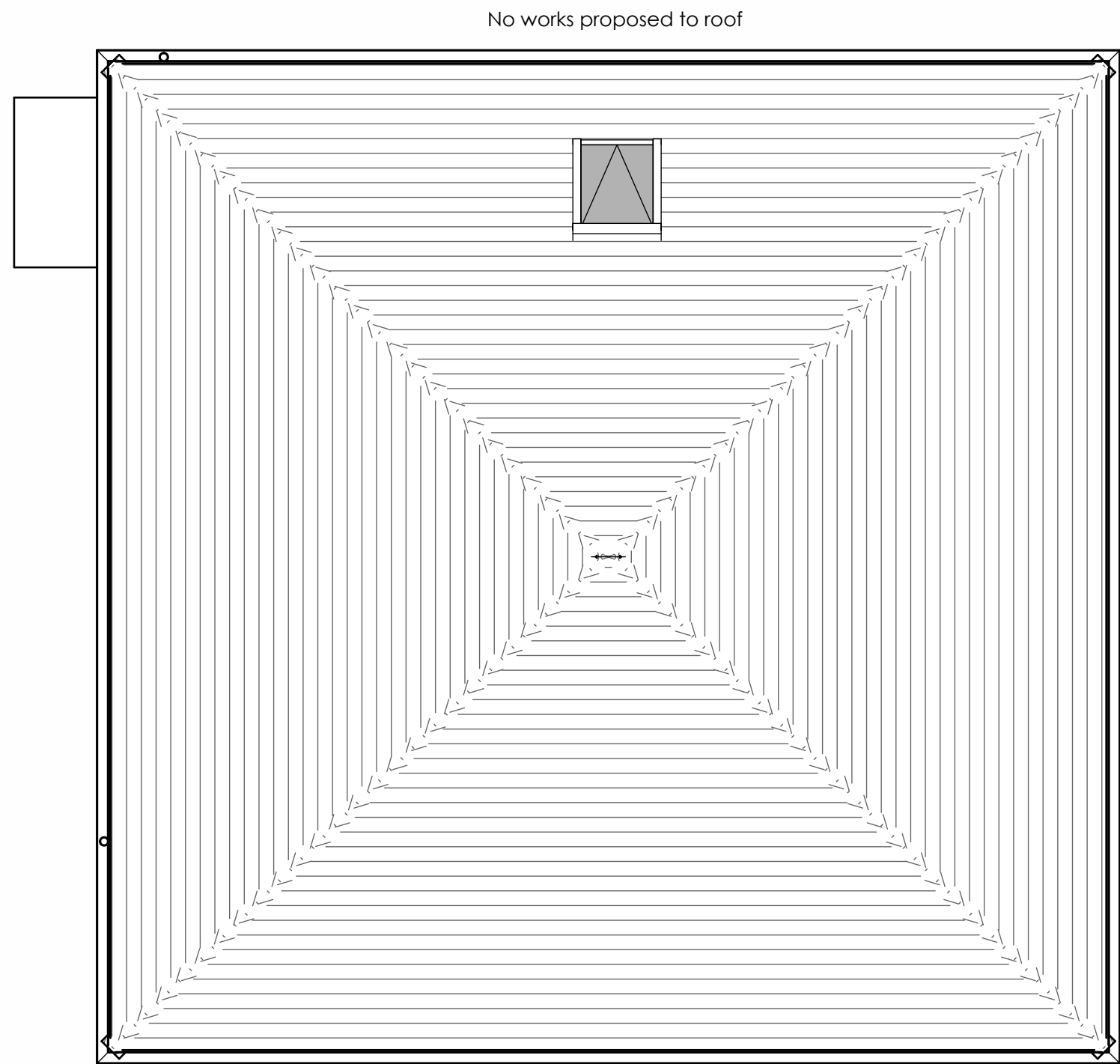
4 Elevation 4 - East Elevation - PL
1 : 100



5 PL00 - Ground Floor Plan
1 : 50



6 PL01 - First Floor Plan
1 : 50



7 PLRF - Roof Plan
1 : 50

Revisions			
Rev.	Issue Date	Description	Issued By
PL2	03/12/2025	Planning Rev 1	EB
CL1	17/11/2025	First Client Issue	EB
CL2	19/11/2025	Client Rev 1	EB
PL1	21/11/2025	Planning Issue	EB
1. This drawing is the copyright of Invictus Building Consultancy Ltd and may not be reproduced without licence. 2. The Contractor shall not scale off this drawing for construction purposes, only figured dimensions shall be worked from. 3. All dimensions and levels are to be checked on site by the Contractor before the commencement of any work and any discrepancies reported to the Architect/Architectural Technologist. 4. No responsibility can be accepted for errors arising on site due to unauthorised variations from the drawings. 5. The Contractor is recommended to visit the site before tendering to ascertain all local conditions and restrictions likely to affect the works. 6. Tenders must include for all the works described or being apparent on the drawings or can reasonably inferred as being necessary for the proper execution of the works. 7. This drawing is for town planning and building regulations only and is not a complete working drawing. 8. Depth, size and design of foundations shown are preliminary only, actual foundation, depth, size and design may differ depending on site conditions. 9. On completion of the works, if a National Home Energy Rating Certificate is required by the client, contact the Local Authority Building Control Department. 10. L1 and L2 requirements for limiting thermal bridging & air leakage workmanship shall be executed by the Contractor in accordance with the appropriate sections and DEFRA/DLIR guidance document "Limiting Thermal Bridging & Air Leakage : Robust Construction Details for Dwellings and Similar Buildings" available from The Stationery Office Ltd.			
Scale = 1:100@A1 Scale = 1:50@A1			
INVICTUS BUILDING CONSULTANCY			
Invictus Building Consultancy 167-169 Great Portland Street 5th Floor London W1W 5PF Phone: +44 (0)203 0265839 Email: info@invictusbc.co.uk Web: www.invictusbc.co.uk			
Client: Retirement Lease HA (RLHA) 19730R			
Project: Conversion of Existing ancillary garage to form ancillary use site manager's office			
Address: Stanford Orchard, Warnham, West Sussex, RH12 3RF			
Title: Proposed Floor Plans and Elevations			
Stage: Planning			
Scale: As indicated			
Date: 20/10/2025			
Drawn: EB		Checked: SB	
Project No: 25.0053		Drawing No: 003	
Rev: PL2			