



Mrs Sue Van Der Borgh
Bulls Farm
Sedgwick Lane
Horsham
West Sussex
RH13 6QE

Our ref: DC/18/0974
Your ref:
Email: planning@horsham.gov.uk
Direct Line: 01403 215521
If Calling Please ask for: Amanda Wilkes
Date: 16th July 2018

Dear Sir/Madam,

**Town and Country Planning Act 1990 (as amended)
Town and Country Planning (General Permitted Development) (England) Order 2016
Application for Prior Approval under Schedule 2, Part 3, Class Q**

**Prior approval for a proposed change of use of agricultural building to a dwelling house
(Class C3)**

Bulls Farm Sedgwick Lane Horsham West Sussex

Further to the above prior notification which was received on 8 May 2018, I am writing to confirm that **prior approval is required and granted**. The proposal can now proceed subject to the following conditions:

- 1 **Pre-Commencement Condition:** No development shall commence until the following components of a scheme to deal with the risks associated with contamination, (including asbestos contamination), of the site be submitted to and approved, in writing, by the local planning authority:
 - (a) A preliminary risk assessment which has identified:
 - all previous uses
 - potential contaminants associated with those uses
 - a conceptual model of the site indicating sources, pathways and receptors
 - Potentially unacceptable risks arising from contamination at the site.

The following aspects (b) - (d) shall be dependent on the outcome of the above preliminary risk assessment (a) and may not necessarily be required.

- (b) An intrusive site investigation scheme, based on (a) to provide information for a detailed risk assessment to the degree and nature of the risk posed by any contamination to all receptors that may be affected, including those off site.
- (c) The intrusive site investigation results following (b) and, based on these, a detailed method statement, giving full details of the remediation measures required and how they are to be undertaken.
- (d) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in (c) are complete and identifying any

requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action where required.

The development shall thereafter be carried out in accordance with the approved details. Any changes to these components require the consent of the local planning authority.

Reason: As this matter is fundamental to ensure that no unacceptable risks are caused to humans, controlled waters or the wider environment during and following the development works and to ensure that any pollution is dealt with in accordance with the National Planning Policy Framework (2012).

- 2 **Pre-Commencement Condition:** No development shall commence until measures outlining the provisions and mitigation to be made for the control of noise permeating into the development have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the measures have been implemented in accordance with the agreed details; the measures shall be retained as such thereafter.

Reason: As this matter is fundamental in the interests of the residential amenity of future occupiers and in accordance with the National Planning Policy Framework (2012).

- 3 **Pre-Commencement (Slab Level) Condition:** No development above ground floor slab level of any part of the development hereby permitted shall take place until a schedule of materials and finishes and colours to be used for external walls, windows and roofs of the approved building(s) has been submitted to and approved by the Local Planning Authority in writing and all materials used in the construction of the development hereby permitted shall conform to those approved.

Reason: As this matter is fundamental to enable the Local Planning Authority to control the development in detail in the interests of amenity by endeavouring to achieve a building of visual quality in accordance with the National Planning Policy Framework (2012).

- 4 **Pre-Occupation Condition:** Prior to the first occupation (or use) of any part of the development hereby permitted, a plan showing the layout of the proposed development and the provision of car parking spaces for vehicles shall be submitted to and approved in writing by the Local Planning Authority. No dwelling hereby permitted shall be occupied or use hereby permitted commenced until the parking spaces associated with it have been provided in accordance with the approved details. The areas of land so provided shall thereafter be retained for the parking of vehicles.

Reason: To ensure that adequate and satisfactory provision is made for the parking of vehicles clear of all highways in accordance with the National Planning Policy Framework (2012).

Schedule of plans/documents.

The following plans and document were considered when making the above decision:

Plan Type	Description	Drawing Number	Received Date
Location & Details plan		PR/01 C	08.05.2018
Location & Details plan		EX-01	08.05.2018
Supporting Statement	Argyll Environmental	NONE	08.05.2018
Supporting Statement	Structural Appraisal Report	NONE	08.05.2018
Supporting Statement	Structual Report	NONE	08.05.2018

Layout plan		NONE	08.05.2018
Photos		NONE	08.05.2018
Supporting Statement		NONE	08.05.2018
Supporting Statement	appendix 2 - 10	NONE	08.05.2018

Note to Applicant – Community Infrastructure Levy (CIL):

Horsham District Council has adopted a Community Infrastructure Levy (CIL) Charging Schedule which took effect on 1st October 2017. **This development constitutes CIL liable development.**

CIL is a mandatory financial charge on development. To avoid additional financial penalties, the requirements of CIL must be managed before development is commenced (including in the event of any successful appeal).

Payment must be made in accordance with the requirements of the CIL Demand Notice issued.

Yours faithfully



Emma Parkes
Head of Development

NOTIFICATION

Appeals to the Secretary of State

1. If this decision aggrieves you then you can appeal to the Secretary of State for the Environment under section 78 (1) of the Town & Country Planning Act 1990.
2. If you want to appeal, you can do so to The Planning Inspectorate at Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN (<http://www.planningportal.gov.uk/planning/planninginspectorate>). **Please note, only the applicant possesses the right of appeal.**
3. The Secretary of State can allow a longer period for giving notice of an appeal, but he will not normally be prepared to use this power unless there are special circumstances.
4. The Secretary of State need not consider an appeal if he feels that the Local Planning Authority could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements, to the provisions of the development order and to any directions given under the order.
5. In practise, the Secretary of State does not refuse to consider appeals solely because the Local Planning Authority based its decision on a direction given by him.



DELEGATED APPLICATIONS - ASSESSMENT SHEET

APPLICATION NO./ADDRESS:

DC/18/0974

Bulls Farm, Sedgwick Lane, Horsham, West Sussex, RH13 6QE

DESCRIPTION:

Prior approval for a proposed change of use of agricultural building to a dwelling house (Class C3)

RELEVANT PLANNING HISTORY:

DC/16/0908

Prior approval for conversion of agricultural building
to 2 x bedroom dwelling

Prior Approval Required and
REFUSED on 05.07.2016

DETAILED DESCRIPTION:

This notification seeks prior approval under Part 3, Class Q of the Town and Country Planning (General Permitted Development) (England) Order 2015 to form a single dwellinghouse on the site. The application seeks to respond to the concerns raised as part of a previously refused application:-

1. The application was not supported by satisfactory evidence to determine whether there would be an adverse impact on the future occupants of the dwellings by way of disturbance from activities carried out on the surrounding site and the wider commercial activities operating in the locality contrary to the requirement of Q.2.(1)(b) of Part 3, Class Q of The Town and Country Planning (General Permitted Development) (England) Order 2015.
2. The proposed works, in particular the proposed solar panels / rooflights, extend beyond the external dimensions of the existing building as permitted by Class Q. The proposal therefore fails to comply with the requirements of Q.1.(g) of Part 3, Class Q of The Town and Country Planning (General Permitted Development) (England) Order 2015.
3. Insufficient details have been received to consider whether the works would be reasonably necessary to convert the building, contrary to Q.1(i) of Part 3, Class Q of the Town and Country Planning (General Permitted Development) (England) Order 2015.

RELEVANT PLANNING POLICIES

National Planning Policy Framework

REPRESENTATIONS AND CONSULTATIONS RESPONSES

Where consultation responses have been summarised, it should be noted that Officers have had consideration of the full comments received, which are available to view on the public file at www.horsham.gov.uk

Consultations:

HDC Environmental Health: Comment. Further information is required from the applicant to demonstrate that the uses of these buildings and associated activities will not adversely impact the amenity of the occupiers of the proposed dwelling.

Commercial or agricultural buildings can be subject to significant contamination risks arising from their use, construction and storage of machinery equipment fuels or other chemicals. Potentially hazardous materials may also be incorporated in made ground, yards and hard standings.

WSCC Highways: No Objection.

Representations:

None received

Parish Comments:

None received

Member Comments:

None received

HUMAN RIGHTS

Article 8 (right to respect of a private and family life) and Article 1 of The First Protocol (protection of property) of the Human Rights Act 1998 are relevant to the application. Consideration of human rights is an integral part of the planning assessment set out below.

PLANNING ASSESSMENT

The main issue is whether prior approval is required for the proposed change of use and conversion of the existing agricultural building to provide a single dwelling under Part 3, Class Q of the Town and Country Planning (General Permitted Development) (England) Order 2015.

Permitted development

Q. Development consisting of—

- (a) a change of use of a building and any land within its curtilage from a use as an agricultural building to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order; or
- (b) development referred to in paragraph (a) together with building operations reasonably necessary to convert the building.

Development not permitted

Q.1 Development is not permitted by Class Q if—

- (a) the site was not used solely for an agricultural use as part of an established agricultural unit—
 - (i) on 20th March 2013, or
 - (ii) in the case of a building which was in use before that date but was not in use on that date, when it was last in use, or
 - (iii) in the case of a site which was brought into use after 20th March 2013, for a period of at least 10 years before the date development under Class Q begins;

Paragraph X of Part 3, Class Q of The Town and Country Planning (General Permitted Development) (England) Order 2015 ('interpretation of Part 3') states that 'agricultural building' means a building used for agriculture and which is so used for the purposes of a trade or business, and excludes any dwellinghouses, and 'agriculture use' refers to such uses.'

Section 336(1) of the Town and Country Planning Act 1990 states that 'agriculture' includes horticulture, fruit growing, seed growing, dairy farming, the breeding and keeping of livestock (including any creature kept for the production of food, wool, skins or fur, or for the purpose of its use in the farming of land), the use of land as grazing land, meadow land, osier land, market gardens and nursery

grounds, and the use of land for woodlands where the use is ancillary to the farming of land for other agricultural purposes, and 'agricultural' shall be construed accordingly.

The site forms part of a cluster of clearly agricultural buildings and there are no reasons to believe the building in question would not accord with the above limitation.

- b) *in the case of—*
 - (i) *a larger dwellinghouse, within an established agricultural unit—*
 - (aa) *the cumulative number of separate larger dwellinghouses developed under Class Q exceeds 3; or*
 - (bb) *the cumulative floor space of the existing building or buildings changing use to a larger dwellinghouse or dwellinghouses under Class Q exceeds 465 square metres;*

The proposal is considered to meet the requirements of (b)

- (c) *in the case of—*
 - (i) *a smaller dwellinghouse, within an established agricultural unit—*
 - (aa) *the cumulative number of separate smaller dwellinghouses developed under Class Q exceeds 5; or*
 - (bb) *the floor space of any one separate smaller dwellinghouse having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 100 square metres;*

The proposal is considered to meet the requirements of (c).

- (d) *the development under Class Q (together with any previous development under Class Q) within an established agricultural unit would result in either or both of the following—*
 - (i) *a larger dwellinghouse or larger dwellinghouses having more than 465 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order;*
 - (ii) *the cumulative number of separate dwellinghouses having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeding 5;*

The proposal is considered to meet the requirements (d).

- (e) *the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained;*

The proposal is considered to meet the requirements of (e).

- (f) *less than 1 year before the date development begins—*
 - (i) *an agricultural tenancy over the site has been terminated, and*
 - (ii) *the termination was for the purpose of carrying out development under Class Q, unless both the landlord and the tenant have agreed in writing that the site is no longer required for agricultural use;*

The proposal is considered to meet the requirements of (f).

- (g) *development under Class A(a) or Class B(a) of Part 6 of this Schedule (agricultural buildings and operations) has been carried out on the established agricultural unit—*
 - (i) *since 20th March 2013; or*
 - (ii) *where development under Class Q begins after 20th March 2023, during the period which is 10 years before the date development under Class Q begins;*

The proposal is considered to meet the requirements of (g).

- (h) *the development would result in the external dimensions of the building extending beyond the external dimensions of the existing building at any given point;*

The proposal is considered to meet the requirements of (h).

- (i) *the development under Class Q(b) would consist of building operations other than—*
(i) *the installation or replacement of—*
 (aa) *windows, doors, roofs, or exterior walls, or*
 (bb) *water, drainage, electricity, gas or other services, to the extent reasonably necessary for the building to function as a dwellinghouse; and*
(ii) *partial demolition to the extent reasonably necessary to carry out building operations allowed by paragraph Q.1(i)(i);*

Paragraph 105 of the Planning Practice Guidance in relation to building operations states the following:

'Building works are allowed under the change to residential use. The permitted development right under Class Q assumes that the agricultural building is capable of functioning as a dwelling. However, it recognises that for the building to function as a dwelling some building operations which would affect the external appearance of the building, which would otherwise require planning permission, should be permitted. The right allows for the installation or replacement of windows, doors, roofs, exterior walls, water, drainage, electricity, gas or other services to the extent reasonably necessary for the building to function as a dwelling house; and partial demolition to the extent reasonably necessary to carry out these building operations. It is not the intention of the permitted development right to include the construction of new structural elements for the building. Therefore it is only where the existing building is structurally strong enough to take the loading which comes with the external works to provide for residential use that the building would be considered to have the permitted development right.'

The existing building appears a robust structure fully enclosed to all elevations. While the structural survey indicates a new dwarf wall they do not include any additional elements to the building itself, with replacement walls and roof covering considered acceptable in the context of the existing building.

- (j) *the site is on article 2(3) land;*

The site is not on article 2(3) land.

- (k) *the site is, or forms part of—*
(i) *a site of special scientific interest;*
(ii) *a safety hazard area;*
(iii) *a military explosives storage area;*

The site is not within any of these areas.

- (l) *the site is, or contains, a scheduled monument;*

The site is not and does not contain a scheduled monument.

- (m) *the building is a listed building*

The building is not a listed building

Conditions

Q.2—(1) Where the development proposed is development under Class Q(a) together with development under Class Q(b), development is permitted subject to the condition that before beginning the development, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to—

- (a) **transport and highways impacts of the development,**

The proposal is not anticipated to result in a material increase or change in the character of traffic. Consequently, no highway concerns would be raised. The prior approval is therefore considered acceptable in highway terms. A condition is recommended to secure details of on-site parking arrangements.

(b) noise impacts of the development,

Paragraph 109 of the National Planning Policy Framework (NPPF) requires development to prevent both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of soil, air, water or noise pollution or land instability.

Paragraph 123 of the NPPF states that 'planning policies and decisions should aim to avoid noise from giving rise to significant adverse impacts on health and quality of life as a result of new development; mitigate and reduce to a minimum other adverse impacts on health and quality of life arising from noise from new development, including through the use of conditions; recognise that development will often create some noise and existing businesses wanting to develop in continuance of their business should not have unreasonable restrictions put on them because of changes in nearby land uses since they were established; and identify and protect areas of tranquillity which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason.'

It is noted that concerns have been raised by the Council's Environmental Health Team. The applicant has though provided details on the nature and intensity of surrounding buildings, which comprise relatively low key functions of the wider agricultural holding. There are a number of dwellings surrounding the site, un-associated with the agricultural holding, with no apparent history of noise complaints. While the proximity of the dwelling to surrounding buildings is noted given the above it is considered that any residual concerns can be satisfactorily addressed through a condition required details of soundproofing measures.

(c) Contamination risks on the site,

The Council considers that potential contamination risks could be dealt with satisfactorily by way of planning conditions.

(d) flooding risks on the site,

The site does not lie within a designated flood risk.

(e) whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order, and

The siting of the building would be within a cluster of agricultural buildings and independent dwellinghouses. The proposed curtilage would provide a sense of separation around the building, providing a buffer from surrounding buildings / land.

(f) the design or external appearance of the building, and the provisions of paragraph W (prior approval) of this Part apply in relation to that application.

The design and elevations being proposed would accord with the rural / agrarian origins of the building, retaining its key form and character.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

Horsham District Council has adopted a Community Infrastructure Levy (CIL) Charging Schedule which took effect on 1st October 2017.

It is considered that this development constitutes CIL liable development. At the time of drafting this report the proposal involves the following:

Use Description	Proposed	Existing	Net Gain
District Wide Zone 1	95.51	95.51	0
		Total Gain	0
		Total Demolition	0

Please note that exemptions and/or reliefs may be applied for up until the commencement of a chargeable development.

In the event that planning permission is granted, a CIL Liability Notice will be issued thereafter. CIL payments are payable on commencement of development.

Recommendation: Prior Approval Required and PERMITTED

Conditions:

- 1 **Pre-Commencement Condition:** No development shall commence until the following components of a scheme to deal with the risks associated with contamination, (including asbestos contamination), of the site be submitted to and approved, in writing, by the local planning authority:

- (a) A preliminary risk assessment which has identified:
 - all previous uses
 - potential contaminants associated with those uses
 - a conceptual model of the site indicating sources, pathways and receptors
 - Potentially unacceptable risks arising from contamination at the site.

The following aspects (b) - (d) shall be dependent on the outcome of the above preliminary risk assessment (a) and may not necessarily be required.

- (b) An intrusive site investigation scheme, based on (a) to provide information for a detailed risk assessment to the degree and nature of the risk posed by any contamination to all receptors that may be affected, including those off site.
- (c) The intrusive site investigation results following (b) and, based on these, a detailed method statement, giving full details of the remediation measures required and how they are to be undertaken.
- (d) A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in (c) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action where required.

The development shall thereafter be carried out in accordance with the approved details. Any changes to these components require the consent of the local planning authority.

Reason: As this matter is fundamental to ensure that no unacceptable risks are caused to humans, controlled waters or the wider environment during and following the development works and to ensure that any pollution is dealt with in accordance with the National Planning Policy Framework (2012).

- 2 **Pre-Commencement Condition:** No development shall commence until measures outlining the provisions and mitigation to be made for the control of noise permeating into the development have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the measures have been implemented in accordance with the agreed details; the measures shall be retained as such thereafter.

Reason: As this matter is fundamental in the interests of the residential amenity of future occupiers and in accordance with the National Planning Policy Framework (2012).

- 3 **Pre-Commencement (Slab Level) Condition:** No development above ground floor slab level of any part of the development hereby permitted shall take place until a schedule of materials and finishes and colours to be used for external walls, windows and roofs of the approved building(s) has been submitted to and approved by the Local Planning Authority in writing and all materials used in the construction of the development hereby permitted shall conform to those approved.

Reason: As this matter is fundamental to enable the Local Planning Authority to control the development in detail in the interests of amenity by endeavouring to achieve a building of visual quality in accordance with the National Planning Policy Framework (2012).

- 4 **Pre-Occupation Condition:** Prior to the first occupation (or use) of any part of the development hereby permitted, a plan showing the layout of the proposed development and the provision of car parking spaces for vehicles shall be submitted to and approved in writing by the Local Planning Authority. No dwelling hereby permitted shall be occupied or use hereby permitted commenced until the parking spaces associated with it have been provided in accordance with the approved details. The areas of land so provided shall thereafter be retained for the parking of vehicles.

Reason: To ensure that adequate and satisfactory provision is made for the parking of vehicles clear of all highways in accordance with the National Planning Policy Framework (2012).

Plans list for: DC/18/0974

(The approved plans will form Condition 1 on the Decision Notice of all Permitted applications)

Schedule of plans/documents **approved:**

Plan Type	Description	Drawing Number	Received Date
Location & Details plan		PR/01 C	08.05.2018
Location & Details plan		EX-01	08.05.2018
Supporting Statement	Argyll Environmental	NONE	08.05.2018
Supporting Statement	Structural Appraisal Report	NONE	08.05.2018
Supporting Statement	Structual Report	NONE	08.05.2018
Layout plan		NONE	08.05.2018
Photos		NONE	08.05.2018
Supporting Statement		NONE	08.05.2018
Supporting Statement	appendix 2 - 10	NONE	08.05.2018

DELEGATED

Case Officer sign/initial Amanda Wilkes Date: 16.07.18

Authorising Officer sign/initial Guy Everest Date: 16.07.2018

Cooper & Withycombe

CONSULTING ENGINEERS

**Barn at Bulls Farm
Sedgwick Lane
Horsham
RH13 6QD**

**Planning Application
Structural Report**

November 2016

**Third Floor
Norwich House
14-15 North Street
Guildford
Surrey
GU1 4AF**

**Tel: 01483 457373
Fax: 01483 568116**

**E-mail: cw@cw-consult.co.uk
www.cooperwithycombe.co.uk**

C O N T E N T S

SYNOPSIS

1. INTRODUCTION
2. GENERAL DESCRIPTION OF SITE, SURROUNDINGS
AND GROUND CONDITIONS
3. BARN STRUCTURE AND CONDITION
4. REVIEW IN RELATION TO CURRENT PROPOSALS
5. CONCLUSIONS

APPENDICES

Appendix A: Photographs

SYNOPSIS

This report on the Barn has been prepared on behalf of Mr and Mrs Van der Borgh, the owners of the Barn adjacent to Bulls Farm, Sedgwick Lane, Horsham.

The report reviews the current nature and condition of the Barn in relation to the proposed change to residential use where appropriate.

The building has previously been used for agricultural purposes. This is reflected in the generally open nature of the building.

Prepared by A J Piper – Project Director

Issue: First

Revision: 0

Date: November 2016

Enquiries relating to this document should be directed to:

Cooper & Withycombe Ltd, 3rd Floor, Norwich House, 14 North Street, Guildford, GU1 4AF.

This report shall be regarded as confidential to our client to whom it is addressed and their professional advisers. It is intended for the use of these parties only and for the specific purposes referred to. Consequently, no responsibility whatsoever is undertaken or accepted to any third party in respect of any information or advice contained in this report.

1.0 INTRODUCTION

- 1.1 This report has been prepared on behalf of the property owners, of Mr and Mrs Van der Borgh. It should be read in conjunction with the architectural proposals prepared by Philips Surveyors for the conversion of the Barn for residential purposes.
- 1.2 The building is currently used for agricultural storage purposes. The objectives of the inspection and this report are to: -
- Visually inspect and report on the nature and present condition of the structural elements.
 - Advise on the suitability of the existing structure for the proposed development.
- 1.3 Comments are made in this report on the structural condition of key structural elements. The condition inspection comprised a non-intrusive visual inspection of the accessible parts of the building generally from ground level, unless specifically noted, and excludes: -
- Any assessment of the capacity of structural elements for either present or future use.
 - Plumbing, mechanical and electrical services installations.
 - Health, safety and fire matters unless these relate to the building condition.
- 1.4 The inspection was carried out from ground level. In the inspection notes descriptions are generally as viewed from the front of the building. Photographs referred to in the inspection are included in Appendix A.
- 1.5 This Structural Condition Report is based on our inspection of the building to enable us to comment on the specific structural matters on which our opinion has been requested. No attempt has been made to inspect or examine other aspects of the property including the risks of asbestos or asbestos products being present, which are unrelated to the subject of this report and no warranty may be assumed or implied with regard to structural conditions not specifically referred to in this report.
- 1.6 In accordance with our standard practice we must point out that this report is based upon our inspection of the premises and any information made available to us, both written and oral, which we have assumed to be correct. The report is for the benefit of Mr and Mrs Van der Borgh and their professional advisers. Cooper & Withycombe Ltd cannot accept any liability to any third party for the whole or part of its content.

2.0 GENERAL DESCRIPTION OF SITE, SURROUNDINGS AND GROUND CONDITIONS

- 2.1 Bulls Farm is located on the west side of Sedgwick Lane to the south of Horsham.
- 2.2 The Barn in question is on the east side of the farm, alongside an access road to the fields and adjacent property. It is terraced into the slope on the north edge of the farmyard that slopes gently down towards the west and the farmyard and fields beyond.
- 2.3 The building comprises a three bay, pre-cast concrete framed corrugated cement sheet, possibly asbestos containing material (ACM), clad main barn with a pitched roof.
- 2.4 The existing layout of the Barn is shown on the site surveys by Philips Surveyors and is described in their Planning Application supporting documents.
- 2.5 Generally, the Barn is not currently in use except for agricultural storage.
- 2.6 The building is presently surrounded on the north, east and part of the south sides by mature coniferous trees.
- 2.7 Roof drainage is via down pipes from the barns discharging to the ground. It is not known if there is any formal drainage.
- 2.8 The local Geological Survey Map suggests the property as underlain by the Tunbridge Wells Sand.

3.0 BARN STRUCTURE AND CONDITION

Structural Description

- 3.1 The Barn and its structure are illustrated in the photographs included in Appendix A.
- 3.2 The Barn is a single storey, three bay, pre-cast concrete portal framed barn with a pitched roof structure, approximately 6 metres high at the central ridge and 4.8 metres at the eaves.
- 3.3 The Barn structure comprises 255mm x 150mm precast concrete posts with corbel brackets, supporting t-section pre-cast concrete rafters to the ridge where there is a pinned steel plate or angle bracket connection joint. At the eaves, there is a bolted connection. Between the frame there are pre-cast concrete purlins supporting the corrugated asbestos cement roof sheeting.
- 3.4 On each gable wall there is a central pre-cast concrete cladding post. This is fixed to the frame apex with a combined steel angle bracket connection.
- 3.5 Except for the central bays, there is corrugated asbestos cement sheet cladding to each of the elevations. The middle such bay is open, the north middle bay has a gate.
- 3.6 The vertical cladding is supported on a mixture of steel angle sheeting rails and pre-cast concrete rails supported on steel angle brackets fixed to the stanchion faces.
- 3.7 At the north-east corner, there is a low retaining wall to the ground beyond.

Present Condition

- 3.8 External Elevations. The present sheeting was in a reasonable condition with all panels intact.
- 3.9 Internal Elevations – Walls. There are a mixture of pre-cast concrete and 75 x 75 rolled steel angle sheeting rails supporting the external cladding. The pre-cast concrete rails are supported on steel angle cleats to the pre-cast concrete stanchions. The steel angles are similarly supported but the angle support continues around the internal face of the post.

The pre-cast concrete rails are in good condition. The steel angle rails exhibit surface corrosion but no spalling/flaking or loss of section was evident.

- 3.10 Internal Elevations – Roof. The cladding is supported on pre-cast concrete purlins spanning between each of the pre-cast concrete frames. These are fitted onto the top face of the portal frame rafters. All appeared in good condition.

- 3.11 Pre-cast Concrete Frame. Each frame is formed of similar standard pre-cast concrete proprietary elements typical of barns of this nature and are in common use. The only differences within Bulls Farm barn are the gable frames which have central wind posts to support the cladding.

The frame is generally in good condition for its location and use although local surface spalling was visible at the base of one column.

A fracture was visible in one frame corbel, although this was not impairing structural stability.

Structural Stability and Condition Summary

- 3.12 The Barn is of a proprietary pre-cast concrete sectional frame principally to support cladding loads over the barn area.
- 3.13 Overall stability to the main frame is provided for in the longitudinal direction by the fixing of the post bases. This is typical for proprietary frame structures of this nature.
- 3.14 Lateral stability is provided by the stiffness of the stanchion rafter connection and also probably by fixing of the post base.
- 3.15 Overall for the nature of their present use the main barn is in reasonable condition with no significant remedial repairs required.

4.0 REVIEW IN RELATION TO CURRENT PROPOSALS

- 4.1 Philips Surveyors LLP's architectural drawings, together describe the existing arrangement and proposed alterations.
- 4.2 The intention is to retain the existing pre-cast concrete frame in the design concept for the development. No structural alterations are envisaged to the frame.
- 4.3 Within the Barn an independent, single storey structure is to be introduced to enable the space to be divided up to form domestic accommodation.
- 4.4 Externally the elevations and the Barn are to be re-clad with modern cladding materials and insulation or glazing. Intermediate framing will only be introduced where necessary to provide additional support to openings if required. Although this will not involve the removal or replacement of the existing cladding rails.
- 4.5 The replacement cladding weight will be equivalent or less than that presently applied by the ACM sheeting. It is therefore not anticipated that loads applied to the barn structural frame will be increased.
- 4.6 Overall stability of the Barn structure will continue to be provided by the pre-cast concrete frame connections as at present.
- 4.7 The proprietary frame of the building was originally constructed for agricultural use. As such it would have been designed in accordance with the appropriate codes of practice for those types of building, together with their design classification and intended service life. Whilst these criteria may have been less than required under current design standards for residential buildings, the proposed conversion of the barn will ensure a robust building structure suitable for its proposed use after conversion.

5.0 CONCLUSIONS

- 5.1 The Barn building, which it is proposed to retain in the development, is a permanent pre-cast concrete framed structure.
- 5.2 Overall the redundant barn building that is the subject of the Planning Application is, based upon our inspection and experience of buildings of this nature, capable of being converted for the proposed use without the need for re-building or structural alterations. In our opinion, the buildings are capable of such conversion in line with the National Planning Policy Framework for the sustainable re-use of buildings and also the provisions of Class Q in the Town and Country Planning (General Permitted Development) England Order 2015.
- 5.3 For the proposed development, the principal changes to the building are to include:
- Re-cladding walls and roof.
 - Forming additional window and door openings
 - Construction of non-load bearing internal partition walls
- 5.4 Except for new openings and the replacement of the cladding, the principal structural elements are to remain and are not to be altered as part of the conversion works. The materials imported to site will be for the conversion of the building. The proposal is capable of conversion and is of permanent and substantial construction in line with paragraph 90 of the NPPF.
- 5.5 Where defects have been noted in the building structures, these are relatively minor and will generally be addressed as part of the refurbishment works.

APPENDIX A:

PHOTOGRAPHS



P1 – Bulls Farm Barn



P2 - Elevation



P3 – Gable end and portal frame



P4 – Internal elevations PCC rails



P5 – Internal elevations – RSA sheeting rails



P6 – Corner post with rolled steel angle junction and pre-cast concrete rails



P7 – Corner post with junction of pre-cast concrete sheeting rails



P8 – Typical portal frame post and rafter connection



P9 – Steel angle bracket to corner post



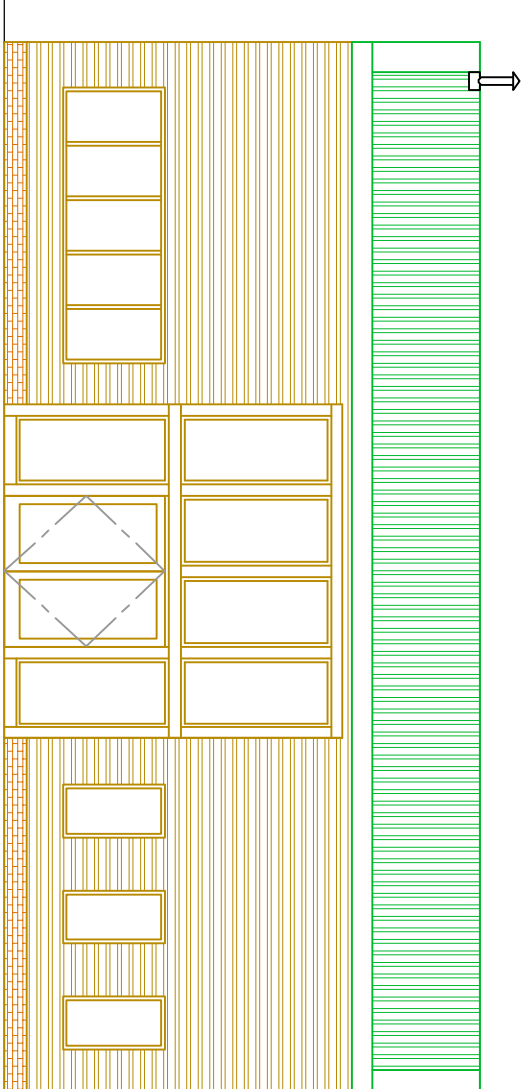
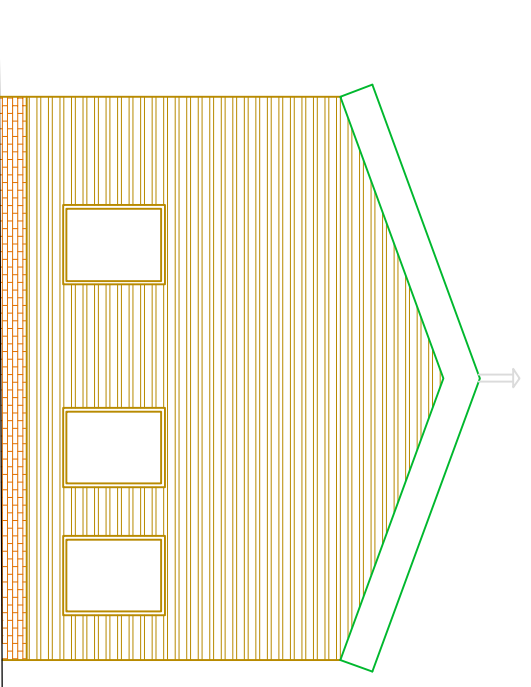
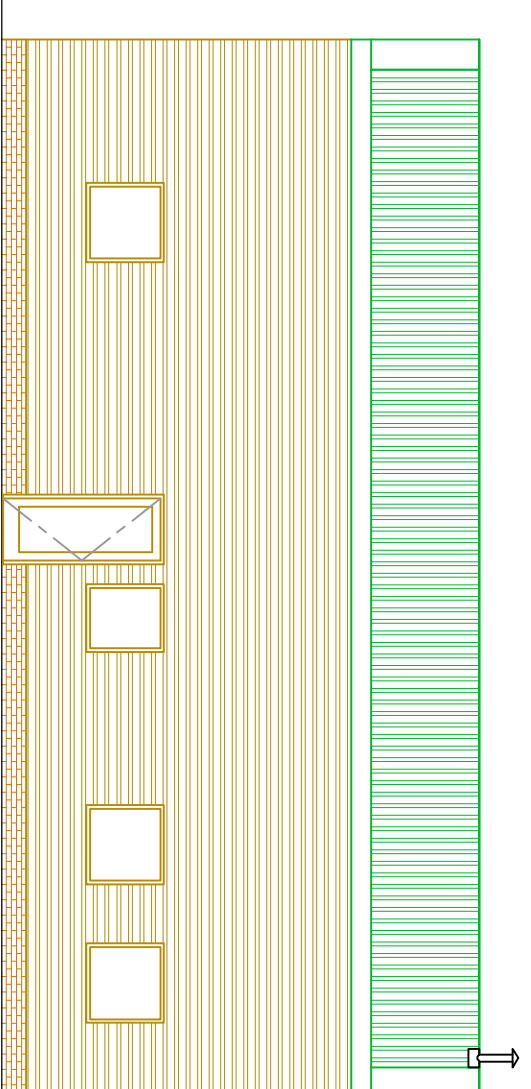
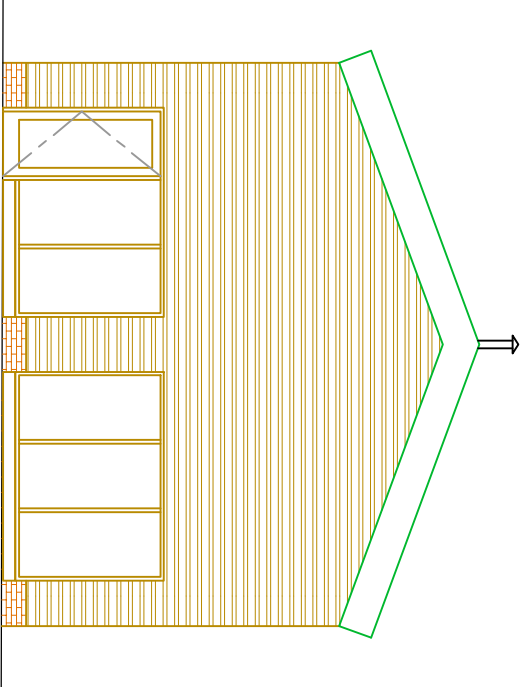
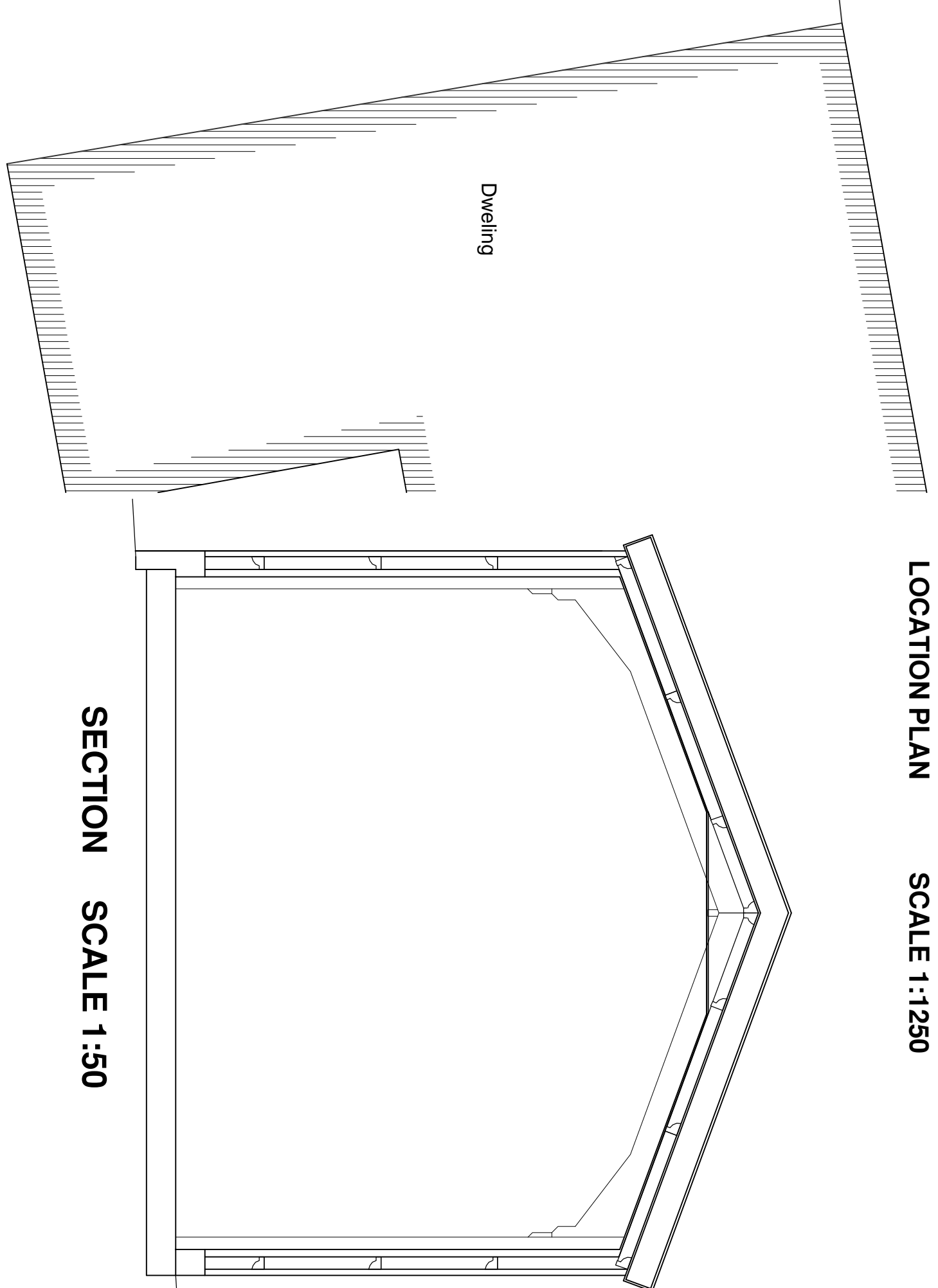
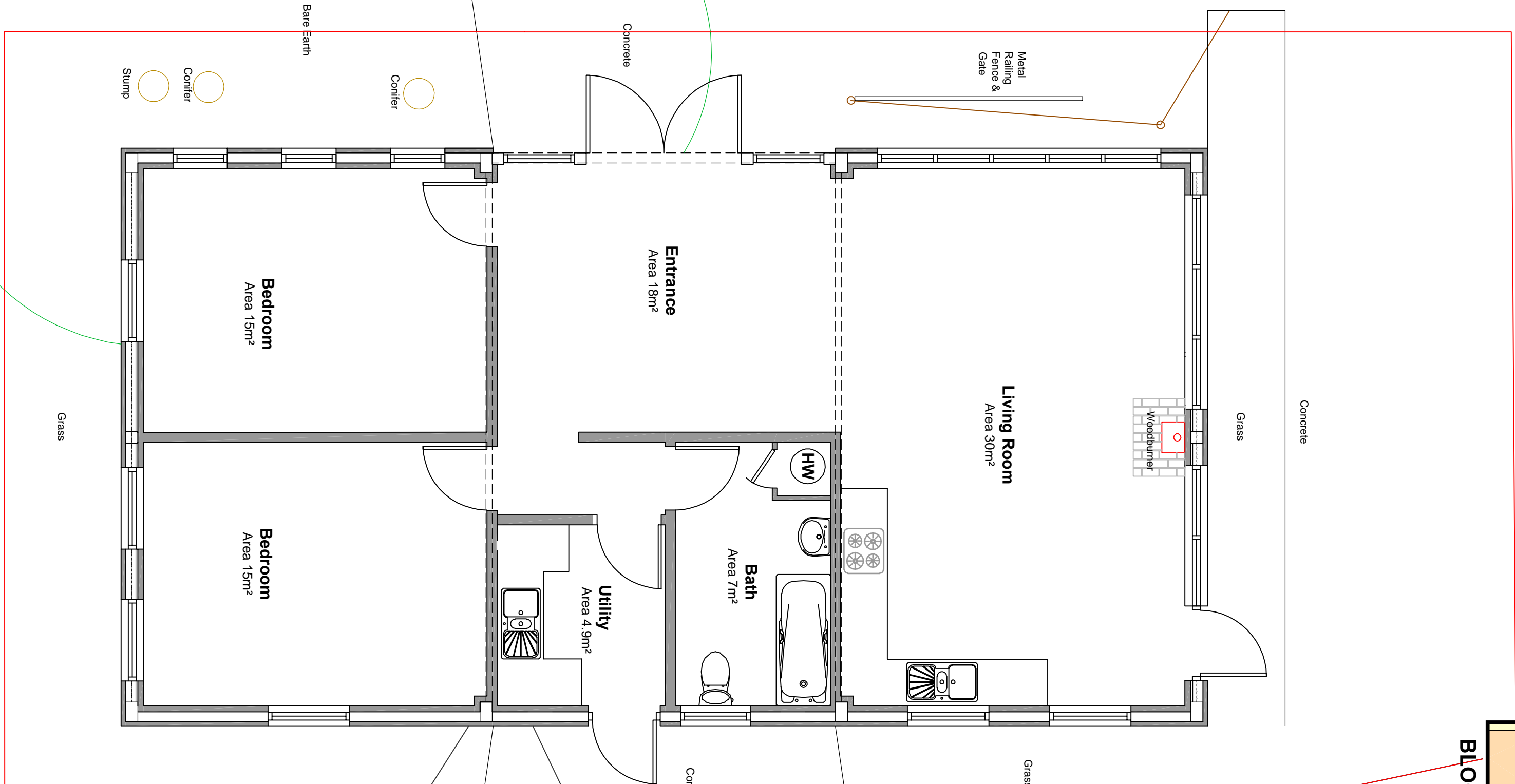
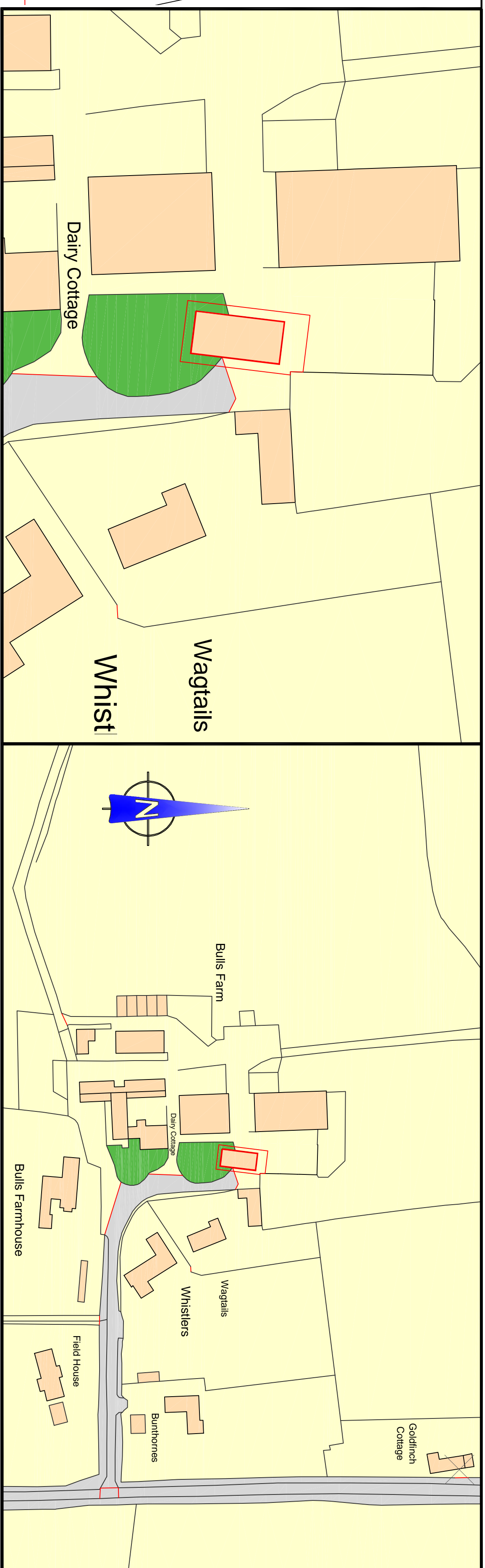
P10 – Steel angle bearing for pre-cast concrete sheeting rail



P11- Typical base detail



P12 – Local spalling and corrosion to post



Notes				
All details are indicative only. All dimensions to be checked on site by contractor prior to commencement of works. Any discrepancies in drawings to be reported to Phillips Surveyors, Ltd.				
C	Solar panels & roof windows omitted	26/03/18	THR	
B	Windows amended, boundary shown, solar panels added	03/02/16	THR	
A	Windows amended	13/01/16	THR	
Rev.	Amendments	Date	Dwn.	

Notes				
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Rev.	Amendments	Date	Dwn.	

PS PHILIPS SURVEYORS
BUILDING SURVEYORS, DESIGNERS & CONSULTANTS

PHILIPS SURVEYORS LLP, THE OLD COACH HOUSE, 78 LOWER STREET, PULBOROUGH, WEST SUSSEX, RH20 2AA
TEL 01798 873222 FAX 01798 873444
EMAIL info@philipsurveyors.co.uk
www.philipscharteredsurveyors.co.uk

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CLIENT:
Mr & Mrs Van der Borgh
BULLS FARM
Sedgwick Lane
HORSHAM,
RH13 6QD

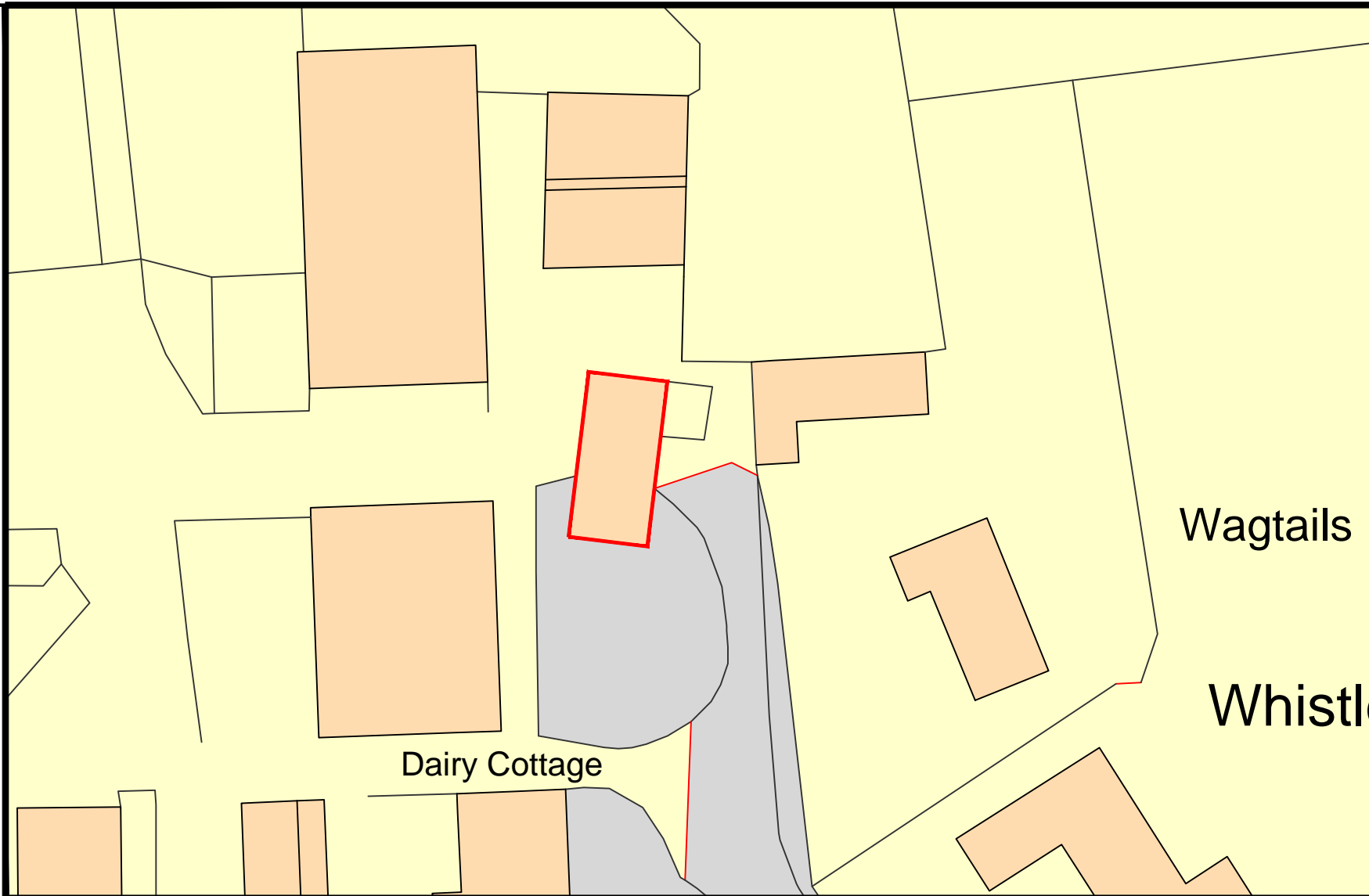
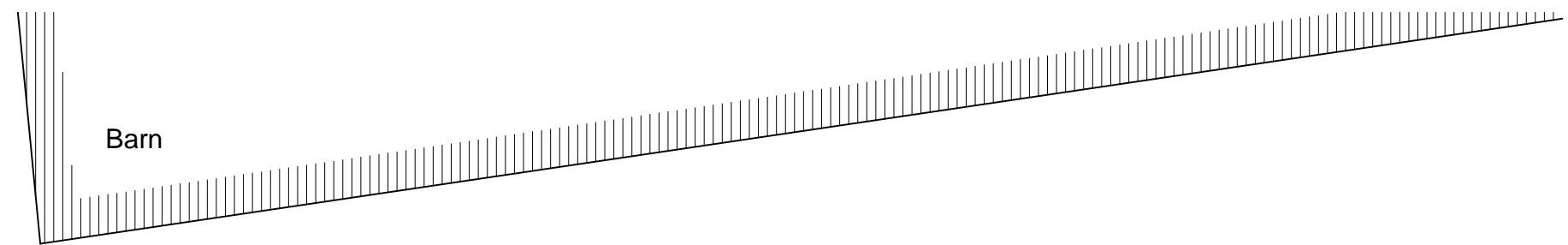
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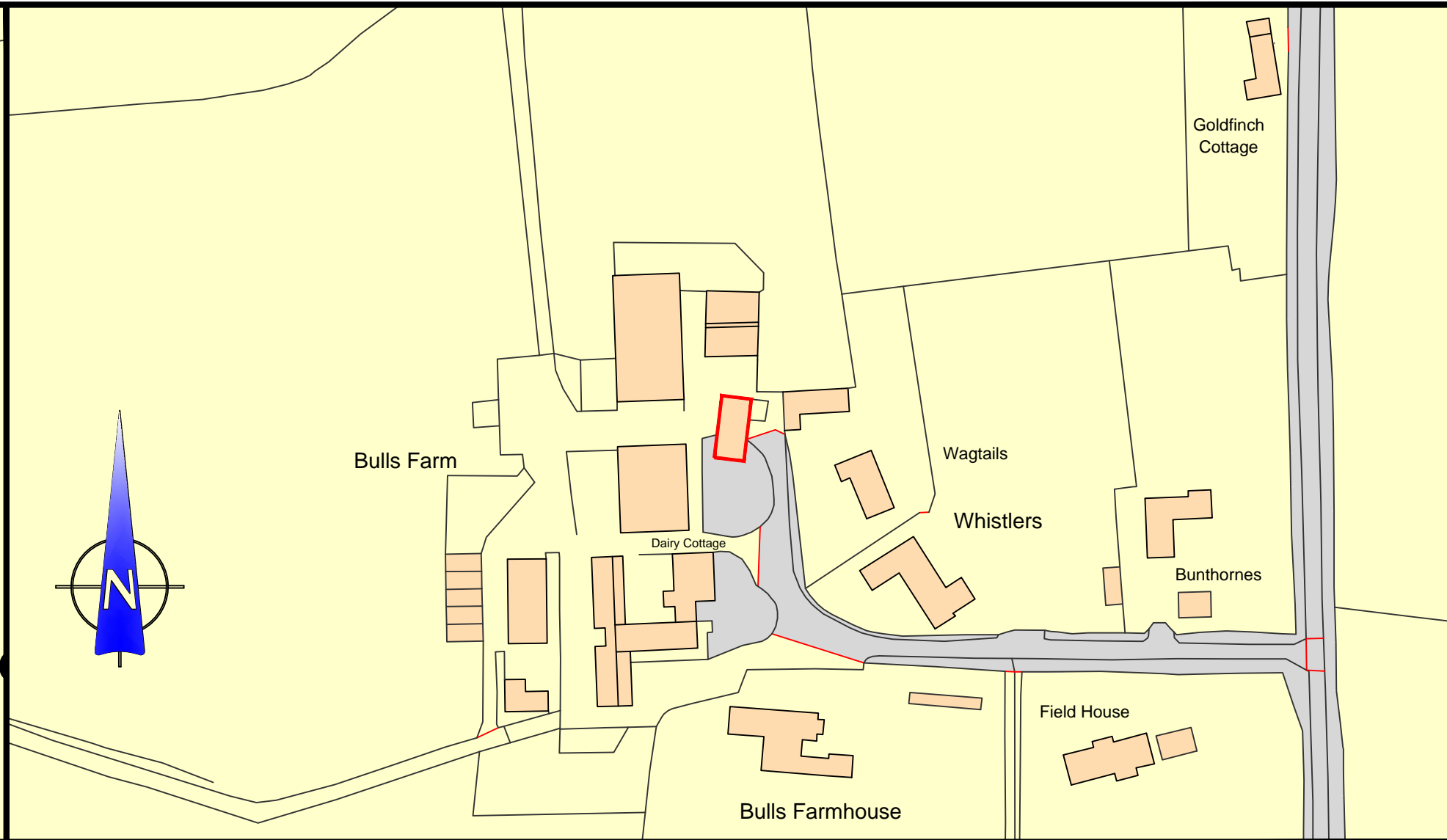
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LOCATION & BLOCK PLANS

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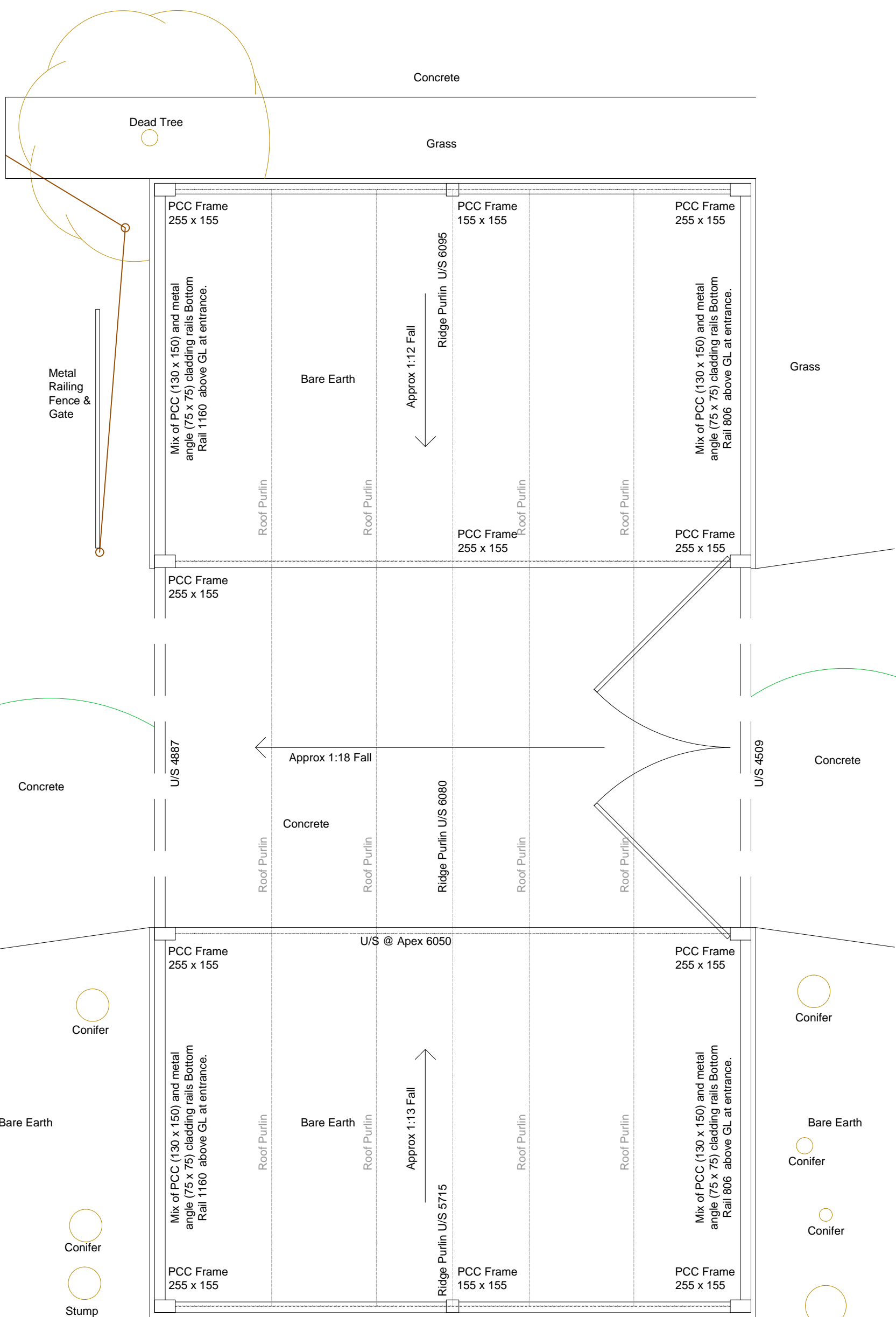
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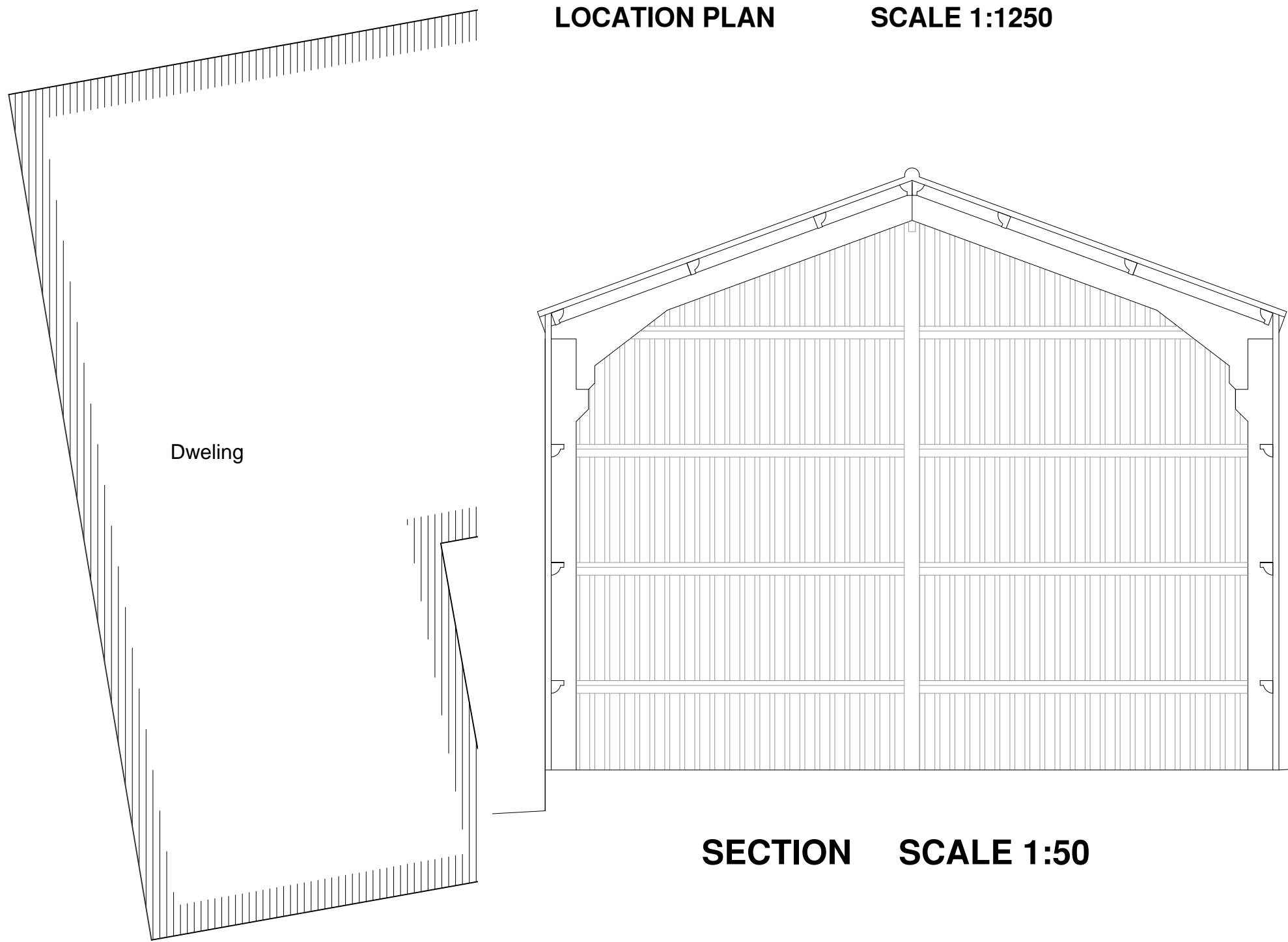
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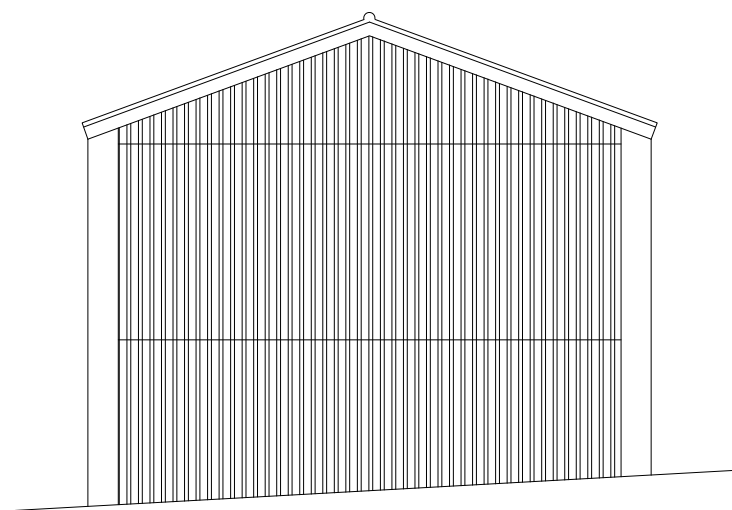
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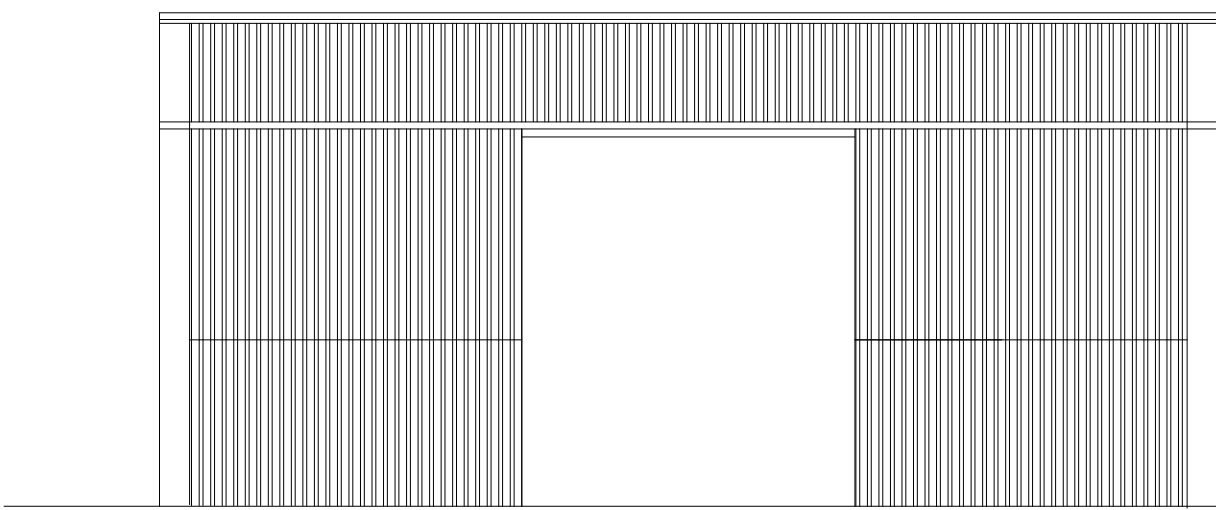
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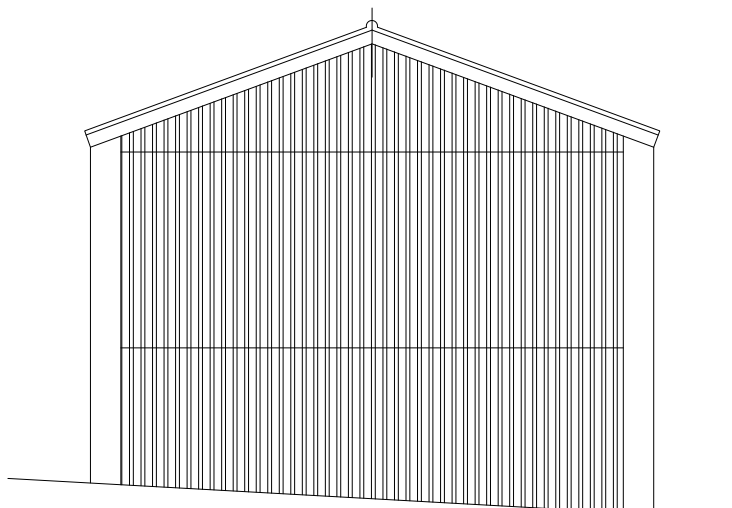
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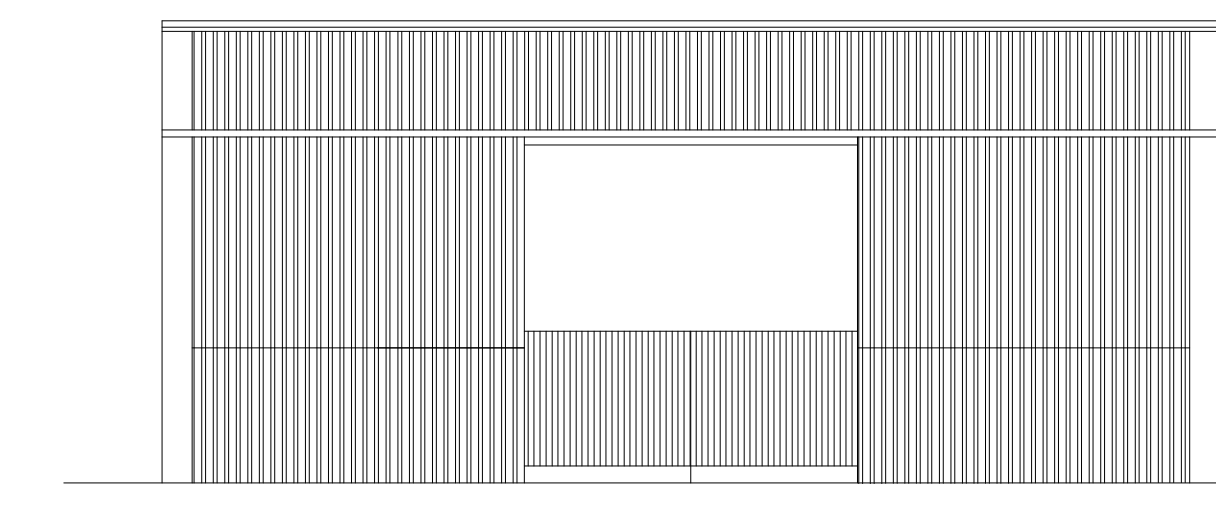
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WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

ELEVATIONS SCALE 1:100

TREES OMITTED FOR CLARITY

Notes
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Rev.	Amendments	Date	Drw.

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PHILIPS SURVEYORS LLP, THE OLD COACH HOUSE, 78 LOWER STREET, PULBOROUGH, WEST SUSSEX, RH20 2AA
TEL 01798 873222 FAX 01798 873444
EMAIL INFO@PHILIPS-SURVEYORS.CO.UK
WWW.PHILIPSCONSTRUCTORSURVEYORS.CO.UK



CLIENT: XXXX

PROJECT:
BULLS FARM
Sedgwick Lane
HORSHAM, RH13 6QD

MEASURED SURVEY

DRAWING TITLE:

EXISTING

GA PLAN, ELEVATIONS & SECTION
LOCATION & BLOCK PLANS

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