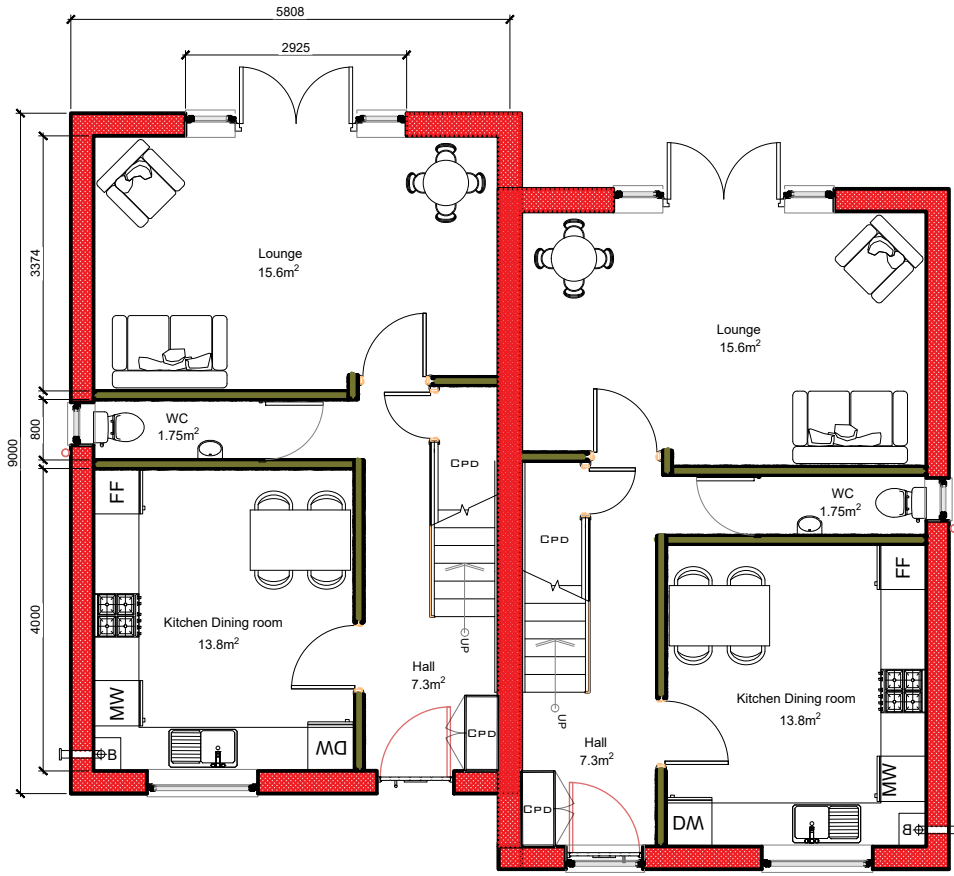


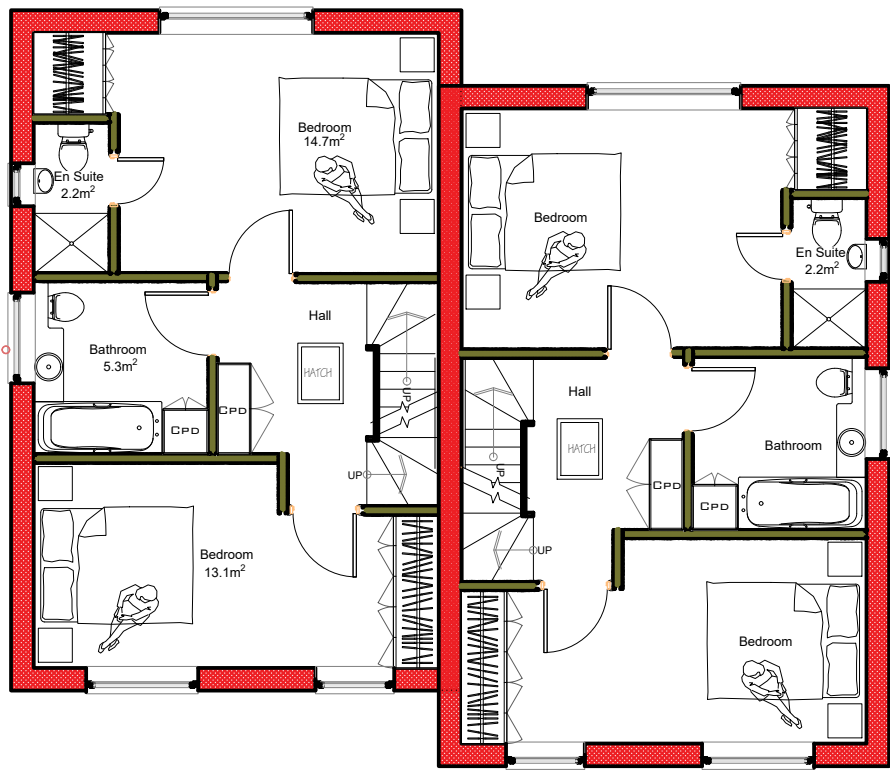
NOTE:
This drawing is to be read in conjunction with the Construction Notes and Structural Engineer's details.
The Contractor is responsible for all setting out and must check levels and dimensions on site before ordering materials or commencing work.
Refer to written dimensions only. Do not scale from drawings, except for the purposes of Planning assessment.
The Architect is to be immediately notified of any omissions or discrepancies.
Building work should not commence until all statutory approvals have been granted, i.e. Planning, Building Control, etc.
If a public sewer is discovered, consent to 'Build-over/Close-to' may be required from the Water Authority.

PARTY WALLS:
Work to Party Walls (including insertion of flashings, beam bearings, etc) are subject to Party Wall agreements with neighbours and are to be arranged by the Client in accordance with the Party Wall Act (i.e. Providing two months written notice)

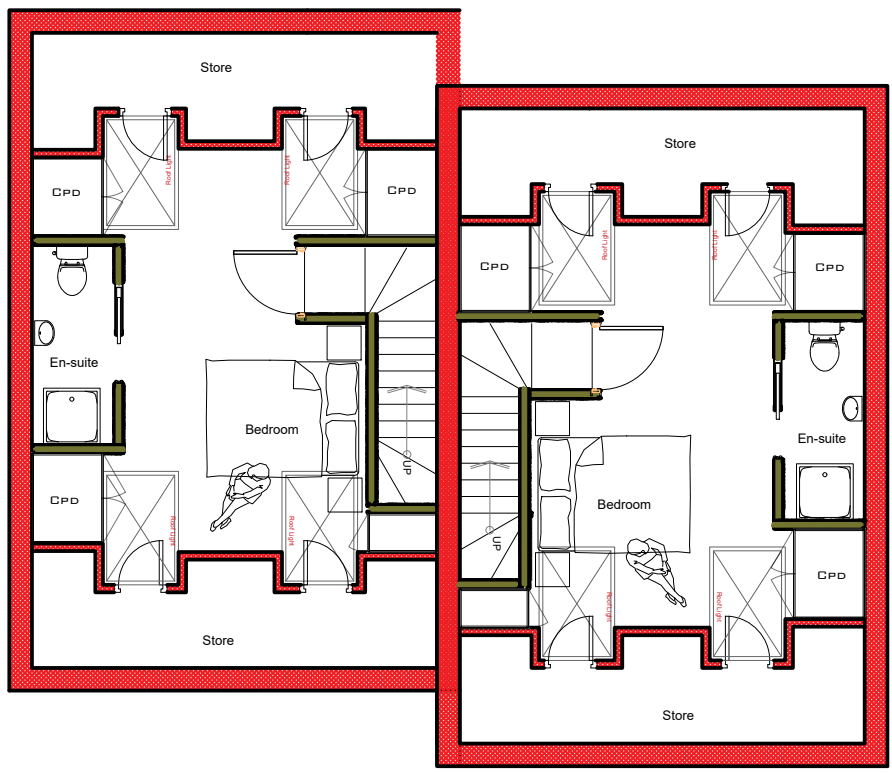
- Direction of Joists
- Below ground drainage - Surface Water
- Below ground drainage - Foul Water
- Discharge pipes
- Existing structure
- Proposed structure
- <1500mm Max Headroom
- Insulation
- Removed structure
- Section line
- Section line
- FD30 30min Fire Doors
- M.O.E. Means of Escape
- O.G. Obscured Glazing



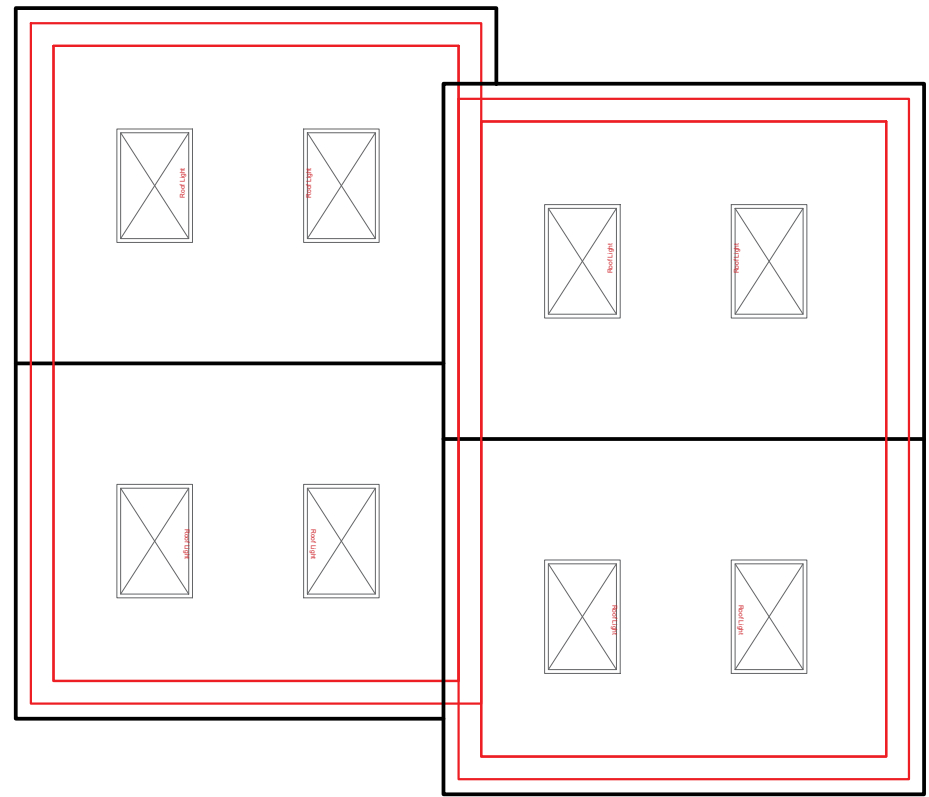
AREA - 45m² per dwelling
Proposed Ground Floor Plan
Scale: 1:100



AREA - 45m²
Proposed First Floor Plan
Scale: 1:100

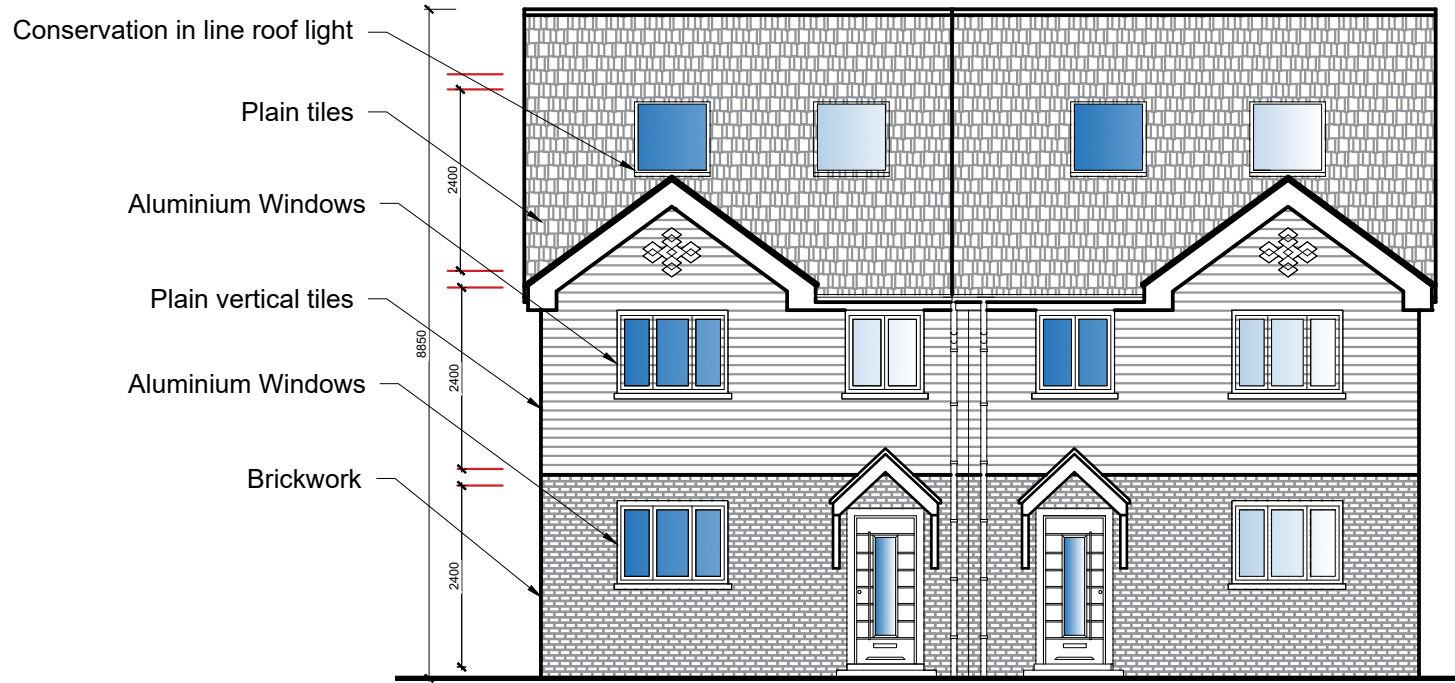


AREA - 28m²
Proposed Loft Plan
Scale: 1:100

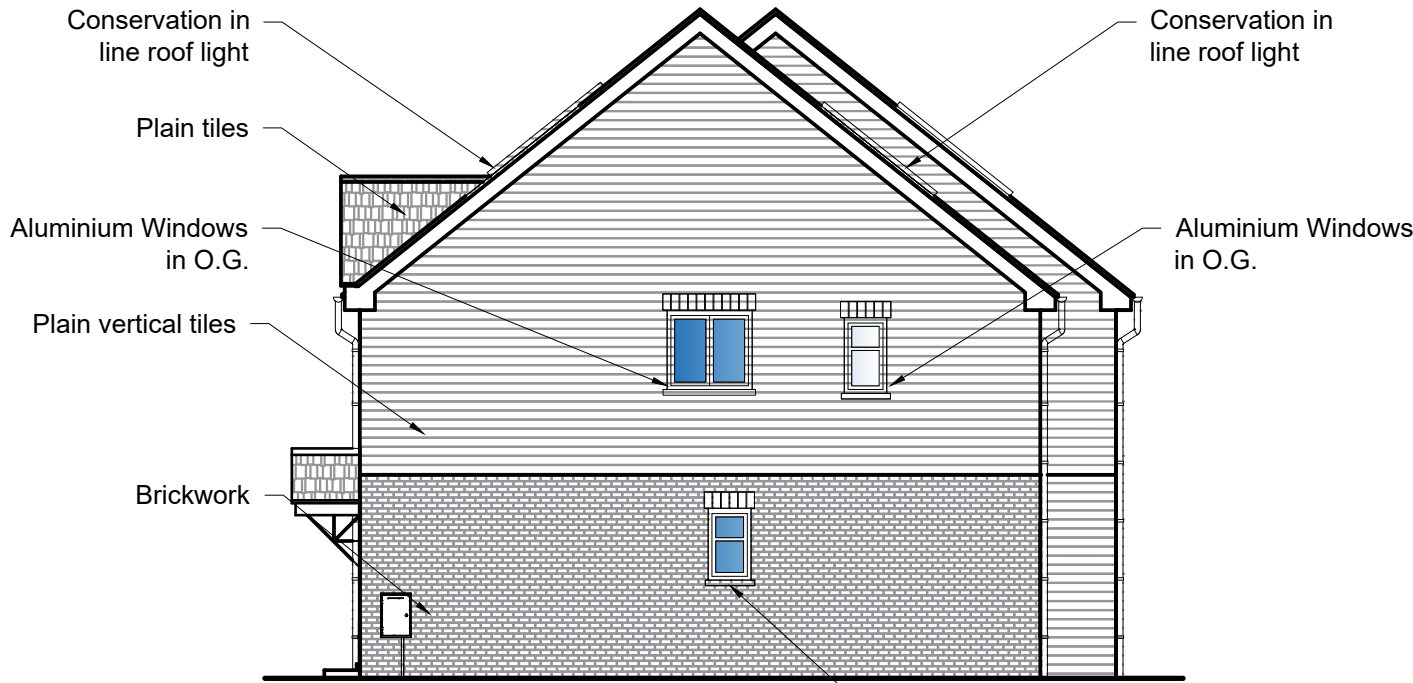


Proposed Roof Plan
Scale: 1:100

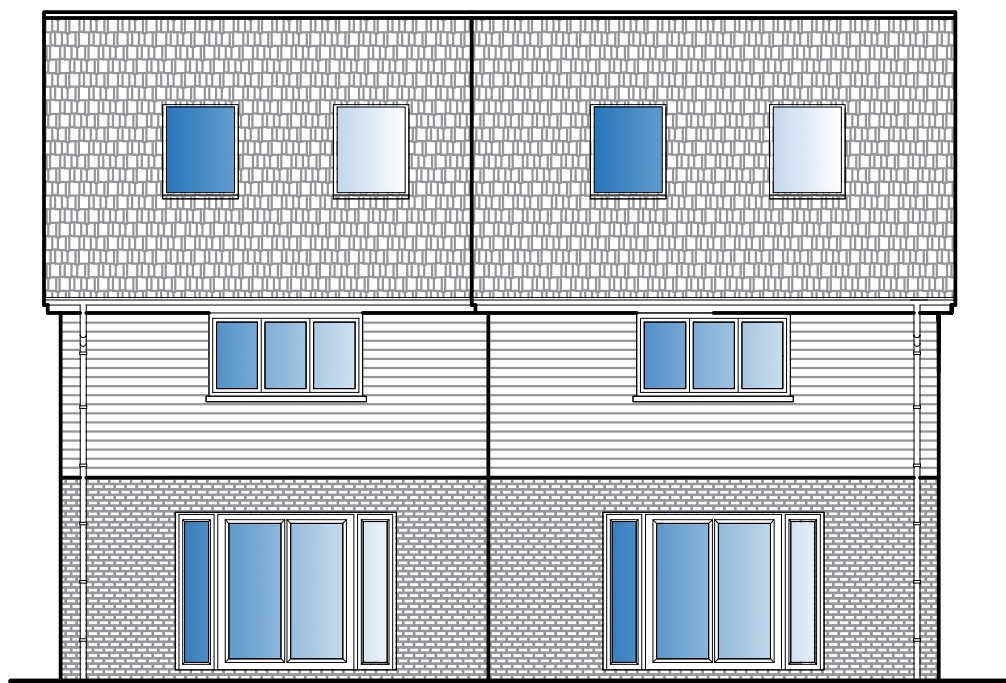
TOTAL AREA 118m² PER DWELLING
PROPOSED PLANS FOR SEMI DETACHED HOUSE
Scale: 1:100



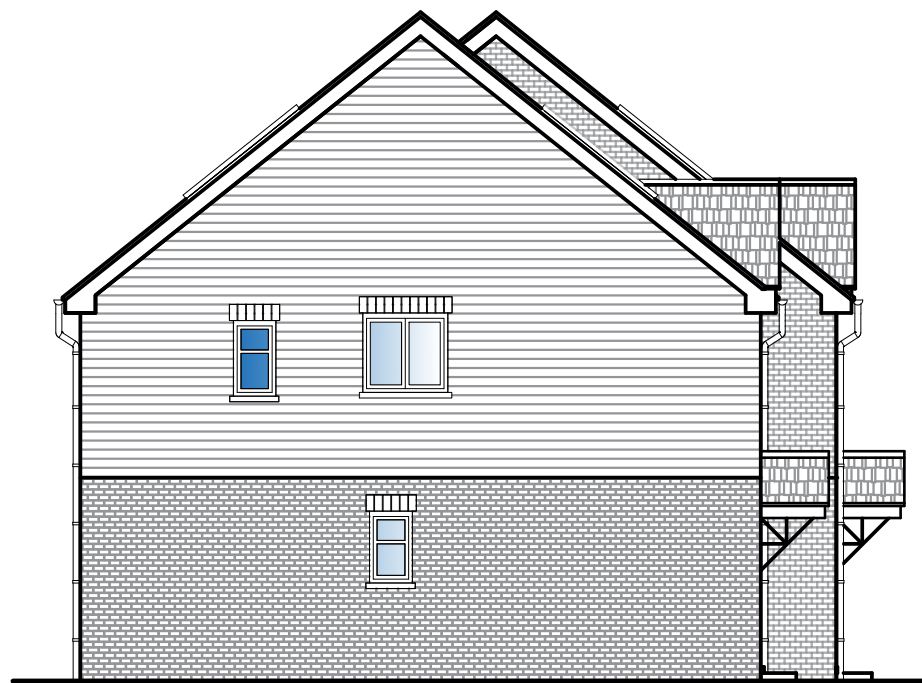
Proposed South Elevation
Scale: 1:100



Proposed West Elevation
Scale: 1:100



Proposed East Elevation
Scale: 1:100

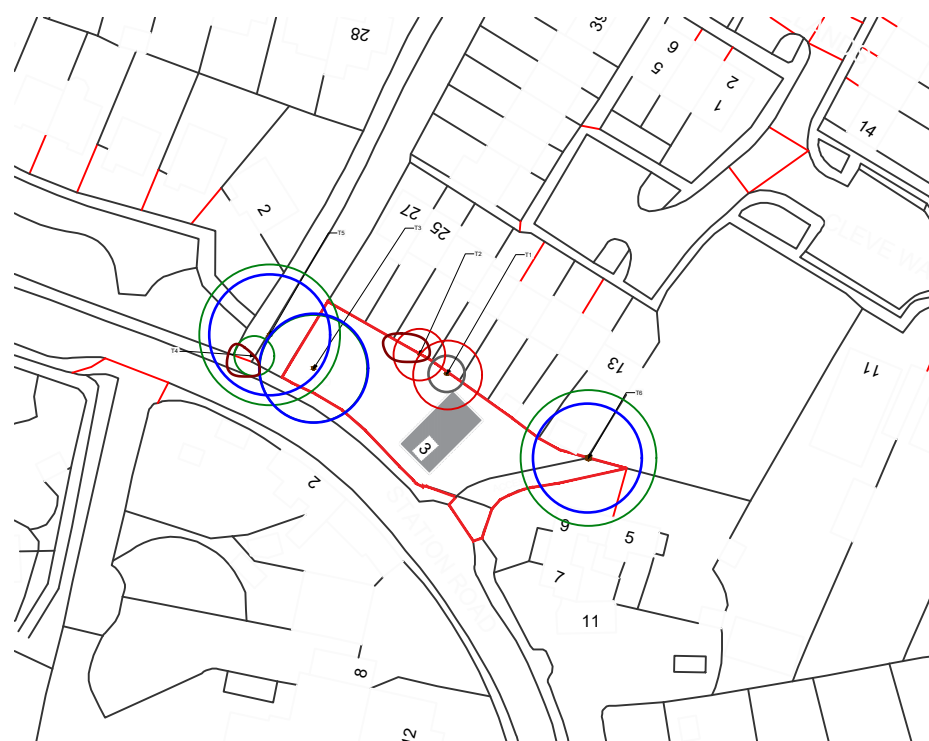


Proposed North Elevation
Scale: 1:100

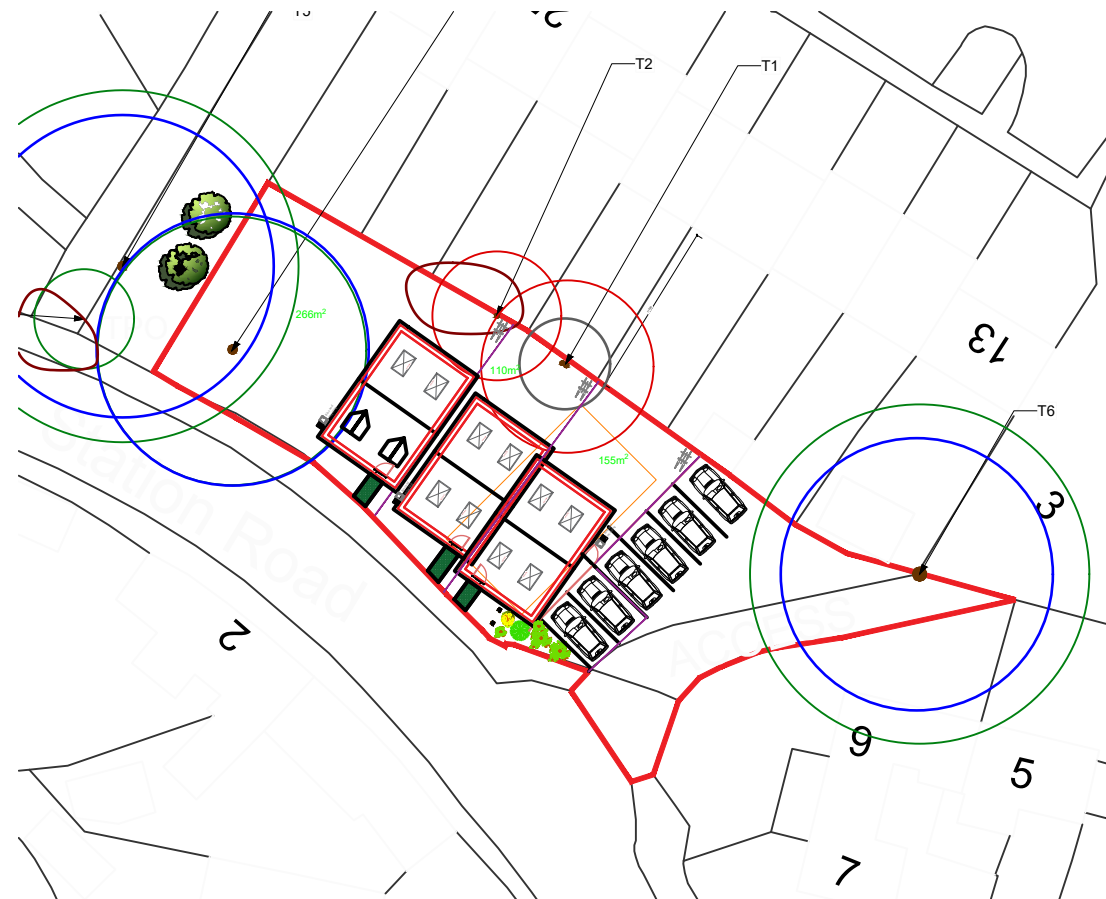
SURFACE TABLE	
F.1	Storage room 2,00 m2
	Stairs 2,70 m2
	Hall 7,30 m2
	Kitchen/ Dining room 13,80 m2
	WC 1,75 m2
	Lounge 15,60 m2
	Bedroom 1 14,70 m2
	Bedroom 2 10,30 m2
F. 2	Bathroom 1 5,30 m2
	En Suite 2,20 m2
	Hall 3,00 m2
	Stairs 2,80 m2
Loft	Eaves Storage 16,00 m2
	Bedroom 3 14,00 m2
	En Suite 2,80 m2
	TOTAL 114.2500

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37)	50	58	1.0
	2p	61	70	79	1.5
2b	3p	74	84	90	2.0
	4p	86	93	99	2.5
3b	5p	95	102	108	3.0
	6p	99	106	112	3.5
4b	7p	108	115	121	4.0
	8p	117	124	130	4.5
5b	9p	123	130	137	5.0
	10p	128	135	142	5.5
6b	11p	132	138	144	6.0
	12p	137	143	149	6.5

Ground Floor - 45m²
First Floor - 45m²
Loft - 28m²
TOTAL - 118.0m²



Location Plan
Scale: 1:1250



SITE AREA - 393.4m²
Block Plan
Scale: 1:500

FOR APPROVAL

B	10/09/2025	Planning Consultants Amendments	DLS
A	28/08/2025	Planning Consultants Amendments	DLS

These drawings and designs are the property of Shear Architectural Design Ltd and must not be copied, retained, or used without prior written consent.
© Copyright

SHEAR
ARCHITECTURAL

CREATE INSPIRE ENHANCE

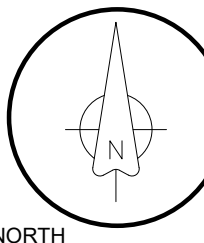
Maritime House - 2nd Floor Echo 3 office
Basin Rd N,
Portslade,
Brighton
BN41 1WR
07581 656512
info@sheararchitecturaldesign.co.uk
www.sheararchitecturaldesign.co.uk

PROJECT:

Demolish existing house and
replace x3 houses on the site.

DRAWING TITLE:

3 Station Rd,
Billingshurst
West Sussex
RH14 9RF



25/004
PROJECT NUMBER:

DATE: 03/06/2025

SCALE: Various @ A1

DRAWN: DS

CHECKED: -

SHEET OF

PL1
DRAWING NUMBER:

B
REVISION: