

Pulborough

New Place Farm



Design & Access Statement

January 2025

Methodology

The structure and detail of this document follows guidance set out by the National Design Guide (NDG) and National Planning Policy Framework (NPPF), adopted 20th December 2023 and updated on 12th December 2024, published since. This document provides the following guidance on Design & Access Statements:

What is a Design and Access Statement?

A Design and Access Statement is a concise report accompanying certain applications for planning permission and applications for listed building consent. They provide a framework for applicants to explain how the proposed development is a suitable response to the site and its setting, and demonstrate that it can be adequately accessed by prospective users. Introduction and Purpose Design and Access Statements can aid decision-making by enabling local planning authorities and third parties to better understand the analysis that has underpinned the design of a development proposal. The level of detail in a Design and Access Statement should be proportionate to the complexity of the application, but should not be long.

What should be included in a Design and Access Statement accompanying an application for planning permission?

A Design and Access Statement must:

- (a) Explain the design principles and concepts that have been applied to the proposed development;
- (b) Demonstrate the steps taken to appraise the context of the proposed development, and how the design of the development takes that context into account. A development's context refers to the particular characteristics of the application site and its wider setting. These will be specific to the circumstances of an individual application and a Design and Access Statement should be tailored accordingly. Design and Access Statements must also explain the applicant's approach to access and how relevant Local Plan policies have been considered. They must detail any consultation undertaken and how the outcome of this consultation has informed the proposed development. Applicants must also explain how any specific issues which might affect access to the proposed development have been addressed.

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Introduction

This statement has been prepared jointly by FINC Architects in connection with the consultant team on behalf of Barratt David Wilson Homes to accompany a Reserved Matters Application at New Place Farm, Pulborough. It is to be read in parallel with all other drawings and documents submitted in support of this application.

This DAS is intended to provide the reader with a concise understanding of the site and surroundings. It also explains the various issues associated with the site and how these have been overcome or encompassed within the overall design to provide the opportunity for a new high quality residential development. It also explains the how the site would be accessed on foot and by car ensuring the proposed development is well connected to surrounding areas.

Description of Proposal

Reserved Matters application for 160 units including 35% affordable housing, provisions for large areas of public open space and associated landscaping, drainage and highways infrastructure.

Vision



To create a landscape lead development that celebrates the site's environmental features combined with the principles established in the Development Framework.



To deliver a place that provides housing, which is well-connected and integrated with the surroundings and creates a distinct sense of place.



Respond to a thorough contextual analysis of the locality and existing setting within Pulborough



Respond to a thorough appraisal of local landscape and ecology to make best use of the site's attractive landscape setting



Establish focal gateways into the site from Drovers Lane.



Provide strong/varied connectivity to the wider allocation site and areas of Pulborough



Figure 1: Concept Masterplan
Source: Approved Framework Document

Background - Planning Context

Applications should align with the development plan unless material considerations indicate otherwise. The statutory Development Plan for Horsham District includes:

- Horsham District Planning Framework (HDPF, 2015)
- Any approved Neighbourhood Plans

The National Planning Policy Framework (NPPF, 2023/2024) and Supplementary Planning Documents (SPDs) are also material considerations in planning decisions. The NPPF promotes sustainable development and good design under the Building Beautiful Places initiative, encouraging local authorities to significantly boost housing supply.

Horsham District Council adopted the HDPF in 2015, with Policy 15 requiring at least 16,000 new homes over the plan period, including 1,500 allocated through neighbourhood plans based on the settlement hierarchy. Under Policy 3, Pulborough is identified as a Tier 2 settlement ("Smaller Towns and Larger Villages"), offering good services and transport links, making it suitable for new development.

The application site is proposed as a housing allocation in the Submission Draft Pulborough Parish Neighbourhood Plan (PPNP, April 2021), where Policy 2 designates the site for approximately 170 dwellings. This proposed allocation is a material consideration. According to NPPF paragraph 48, weight can be given to emerging plans based on preparation stage, unresolved objections, and consistency with NPPF policies. The PNP is well-advanced, having completed three consultation stages and awaiting examination, with Policy 2 aligned with NPPF objectives to boost housing in accessible, sustainable locations. Thus, notable weight can be given to this site allocation.

Strategically, this site represents a natural urban extension to Pulborough's northeast edge, accessible via existing residential roads and within walking distance of the village school and amenities. A comprehensive assessment against the Development Plan, NPPF, SPDs, Neighbourhood Plan, and emerging Local Plan is included in the Planning Statement accompanying this outline application.



Horsham District Planning Framework

(excluding South Downs National Park)



November 2015

Figure 2: Horsham District Planning Framework
Source: Horsham District Council

Public Transport, Walking and Cycling

Pulborough is fortunate to be served by a wealth of footpaths and cycleways. Pedestrian access is readily available via the Public Right of Way and bridleway network. A link also cuts through to the West of the site, which provides a convenient route from North to South and vice versa. Additionally a bridleway also cuts through East to West.

The South-East of the site connects onto Glebelands via Drovers Lane. New footways have been made on either side of the carriageway on Drover Lane, which link to the wider network on Glebelands and beyond.

The nearest bus stops from the site are located on Glebelands, which provide access to an hourly service from Burgess Hill via Pulborough to Horsham. Further services are also available on Lower Street which links Pulborough with Worthing and Midhurst.

Pulborough Railway station is located around 1.9km away to the South-West of the site, which is also accessed via the bus route on Glebelands. Good links are also accessed via foot to the station due to the Public Right of Way network within the sites surroundings. A PRoW runs adjacent to the train line and is accessed via Coombelands Lane.



Sustainability/ Facilities and Services

The site is located within walking and cycling distance to a range of local facilities and services which include education, health, leisure and supermarket facilities. As mentioned Pulborough has good access to rail and bus links to wider communities but the need for travel is reduced due to the close proximity of facilities from the site.

As discussed, due to the good locational benefits of the site, the development is in full accordance with the local and national objectives of siting development in sustainable and accessible locations.

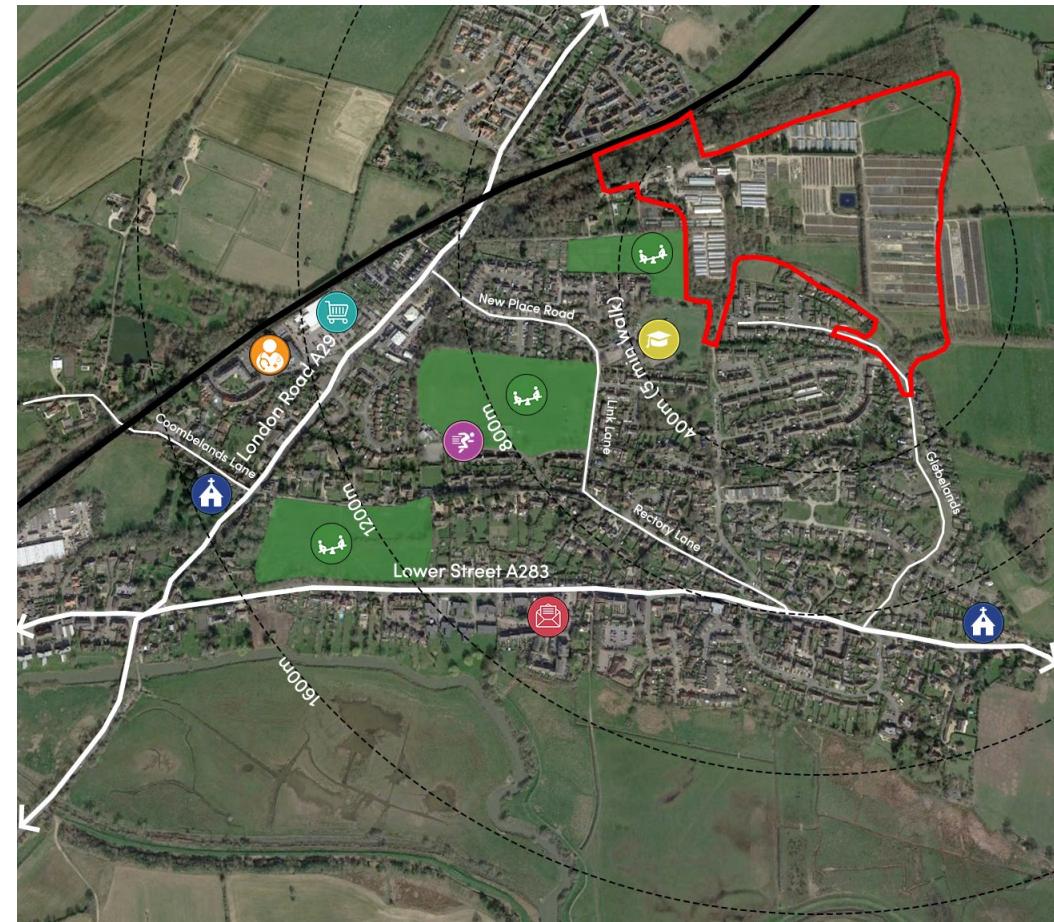


Figure4: Sustainability / Facilities and Services + Aerial
Source: FINC Architects



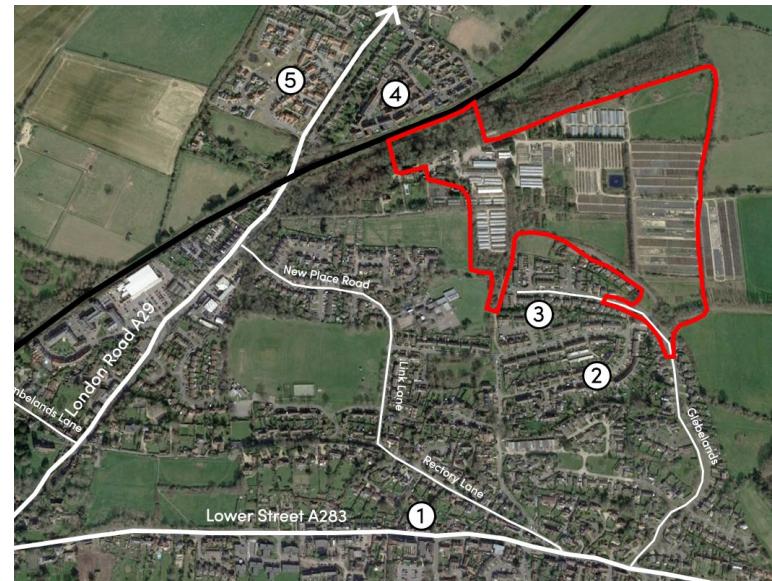
Character Study

Figures 5-9: Photos & Aerial Map
Source: Google + FINC Architects

A preliminary character assessment has been undertaken to guide the future design and architectural treatment of the proposed housing.

This assessment seeks to understand the existing housing densities and typologies within Pulborough, with focus on those adjacent to the site. This analysis not only enables an understanding of the varying density of development present in the villages but also informs the selection of appropriate densities for the site.

The Character Study also focused on materials found commonly in the surrounding area. Having undertaken the character study the following characteristics were observed.



1- Historic Core

The building materials that are found in the Historic Core consist of clay roof tiles, hung roof tiles, red brick, painted and brick and small parts of render. Gables are often present within the street scenes.



2- Post-war Housing

Post war housing consists of short terraces, semi detached units and bungalows, with predominantly red brick fenestrations.





3- 1970s Estate Housing

Sited at the top of Glebelands, directly adjacent to the site consists of a series of short terrace housing estates. Parking is accessed via courtyards situated to the rear of the properties, this is not seen to be repeated in future proposals. Materials consist of part brick part cladding or full brick houses.



4- 21st Century

Relatively new development on Harwood Close North of the site, imitates the Historic Core buildings with the use of red brick, painted brick and gable fronted designs.



5- 21st Century

Recent development to Sinclair Drive North of the site compromises of both detached properties and terrace houses with a consistent architectural style. The site boasts a range of materials such as tile hang, red brick, yellow brick and render with slight detailing.





Context

Site Assessment

Pulborough is situated at the meeting point of two rivers along the northern edge of the South Downs National Park. New Place Farm in Pulborough spans 16.29 hectares on the town's northern edge and is primarily a commercial nursery, bordered by woodland to the north.

The Site reaches the Arun Valley Railway Line to the north, with a strip of mature woodland along this boundary that slopes from a local ridge down to the railway. To the west, the boundary adjoins New Place Manor's grounds and three nearby residences to its southeast.

A bridleway runs north-south through the western portion of the Site, lined with mature trees and flanked by low buildings and polytunnels, matching the Site's current nursery use. Further east, a line of poplar trees runs north-south, creating a distinctive landscape feature. The eastern boundary meets open countryside, marked by a line of trees that screens views in and out of the Site.

To the south, the Site borders Pulborough's settlement edge. The newer development along Drover's Lane overlooks the Site, separated by a well-maintained hedgerow.



Figure 18: Aerial Map
Source: Google + FINC Architects



Heritage & Archaeology

To align with national and local planning policies, EDP investigations were conducted to assess the Site's potential for archaeological and heritage assets, along with any impact the proposed development might have on nearby designated heritage assets, such as scheduled monuments and listed buildings. This was done through an Archaeological and Heritage Assessment.

The Site itself contains no designated heritage assets. The closest are the Grade II* listed "New Place Manor" and the Grade II listed "Archway and Garden Wall at New Place Manor," located just west of the Site. While the development will not directly affect these assets, their settings were considered in the design to ensure they are respected. Key adjustments include removing nursery buildings and creating open spaces in the northeast and southeast areas most sensitive to the listed buildings, showing a positive response to their historical significance.

The review of archaeological records shows the Site lies within an Archaeological Notification Area, with potential for below-ground remains from the later prehistoric or Roman periods based on local findings, including an Iron Age and Roman field system discovered before the Drovers Lane development to the south.

A geophysical survey was conducted within accessible areas of the Site to complement existing data, though some parts could not be surveyed due to ongoing nursery operations. The survey identified part of a possible enclosure in the northeast, near the proposed Countryside Park. Although there may be isolated archaeological areas on-site, further surveys and mitigation (if needed) can be managed with a suitable planning condition, as applied in the 2016 application.

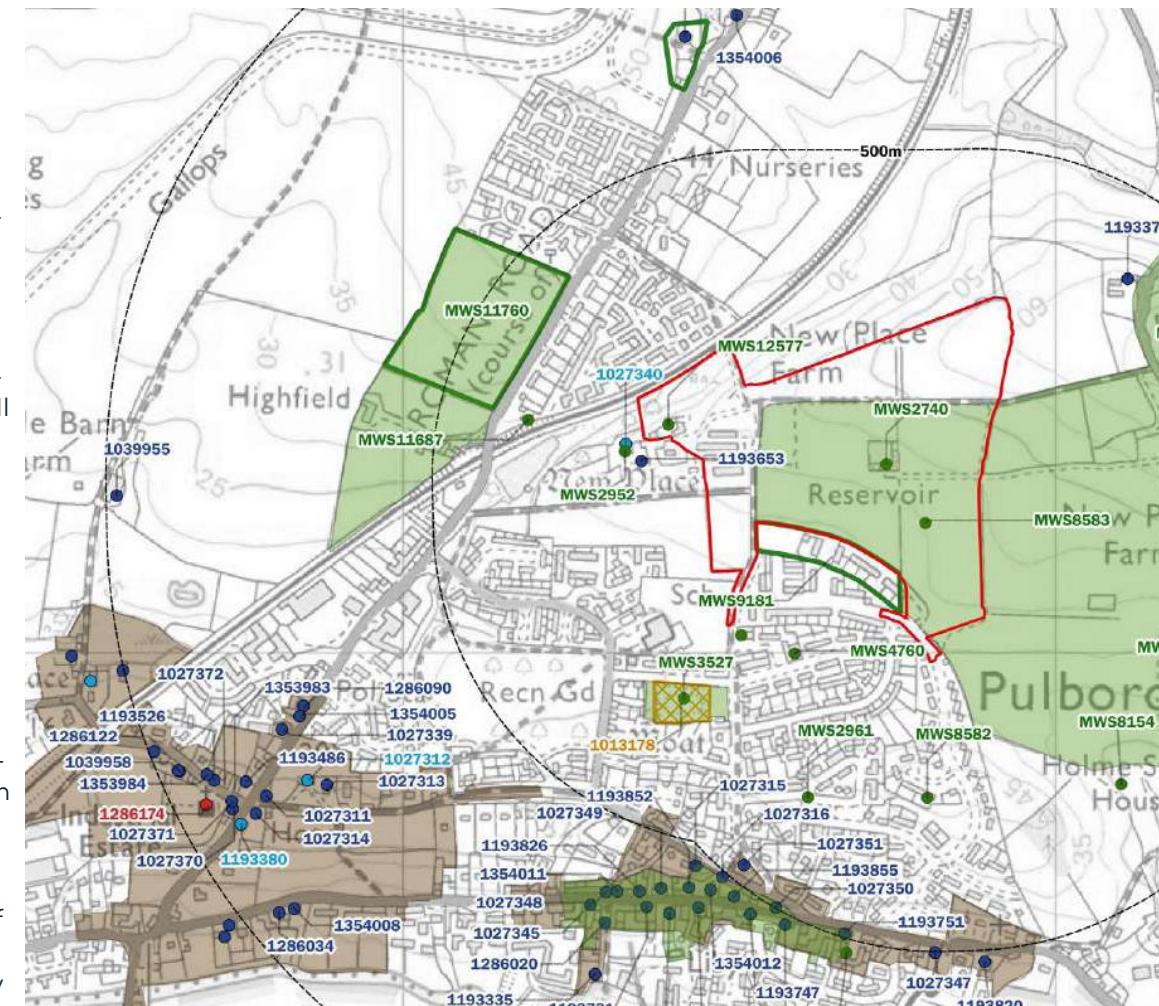


Figure 19: Heritage Assets Plan



Design

Proposed Site Layout

Following a number of iterations, the proposed layout is presented on the following page. The landscape-led layout has evolved alongside our consultants reports and illustrates the collaborative nature of the project.

The site layout comprises some key areas, relating to the immediate landscape and physical context in those parts of the site. These areas can be simplified to include the following:



Key Focal Locations - These buildings here have been designed to improve the access to different sections of the site where dwellings are edging the green corridors or moving from the main spine road, into the development parcels. Key detailing is utilised in these areas to improve the aesthetic.



Public Open Space - Large areas of POS are illustrated across the site, evenly distributed to allow all residents generous access to outdoor areas. The majority towards the north where development has been faced towards to improve the views.



Existing Vegetation - Key areas of the site have large volumes of beautiful vegetation that will be retained and enhanced in order to increase the aesthetic of the site while reflecting the natural shapes of the streets proposed.



Site Entrance Gateway - The entrance to the site is one of the most important areas, where the dwellings are facing onto the road, angled directly at the entrance point. These larger dwellings utilise the detailing and form to create a key focal point towards the south, outline with existing and proposed vegetation to soften the location.



Primary Arcadian Streets - The adopted roads accessing and traversing the site are tree lined to promote active travel and Arcadia style development, reflecting the directly surrounding nature, while being respectful of the



Identity





Proposed Site Layout

The proposed layout is presented in the figure adjacent.

The layout has evolved through discussions with the wider design team and illustrates the collaborative nature of the project.

The key elements of the layout are as follows:

- 160 dwellings provided through a mixture of dwelling types, sizes and tenures;
- Affordable housing has been supplied in accordance with local policy requirements;
- Essential urban design principles have been maintained, such as back-to-back plotting, consistent building lines, ensuring dwellings overlook key areas of public open space and corner turning plots where possible;
- High-quality strategic and private landscaping to enhance the environment and soften the development edges;
- Layout configured to emulate a distinctive sense of place and destination.

Existing landscape features have been retained where possible and enhanced with new planting. Areas of green open space are provided throughout the development.



Figure 21: Coloured Site Layout
Source: FINC Architects



Proposal - Materiality & Fenestration

The proposed development has been designed in accordance with the local vernacular. The historic core of Pulborough lies to the south of the village, separated visually and physically from the site. However, key architectural cues are relevant and need to be respected throughout the proposal.

Materiality and fenestration design are very key aspects across the site. Pulling inspiration from the local area to implement on the proposed site

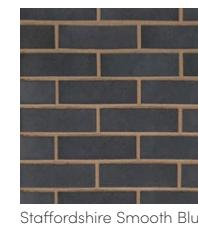


Sienna Red Brick



Main Brick

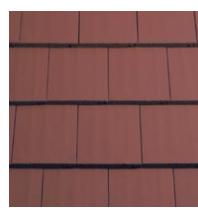
Feature Brick



Staffordshire Smooth Blue Brick



Sandtoft Calerdale Edge Dark Grey Tiles



Sandtoft Calerdale Edge Terracotta Tiles

Figures 22-26: Materials Samples
Source: Google

Figures 27-31: Material & Built Form Examples
Source: Google



Identity

Proposed Materials Plan

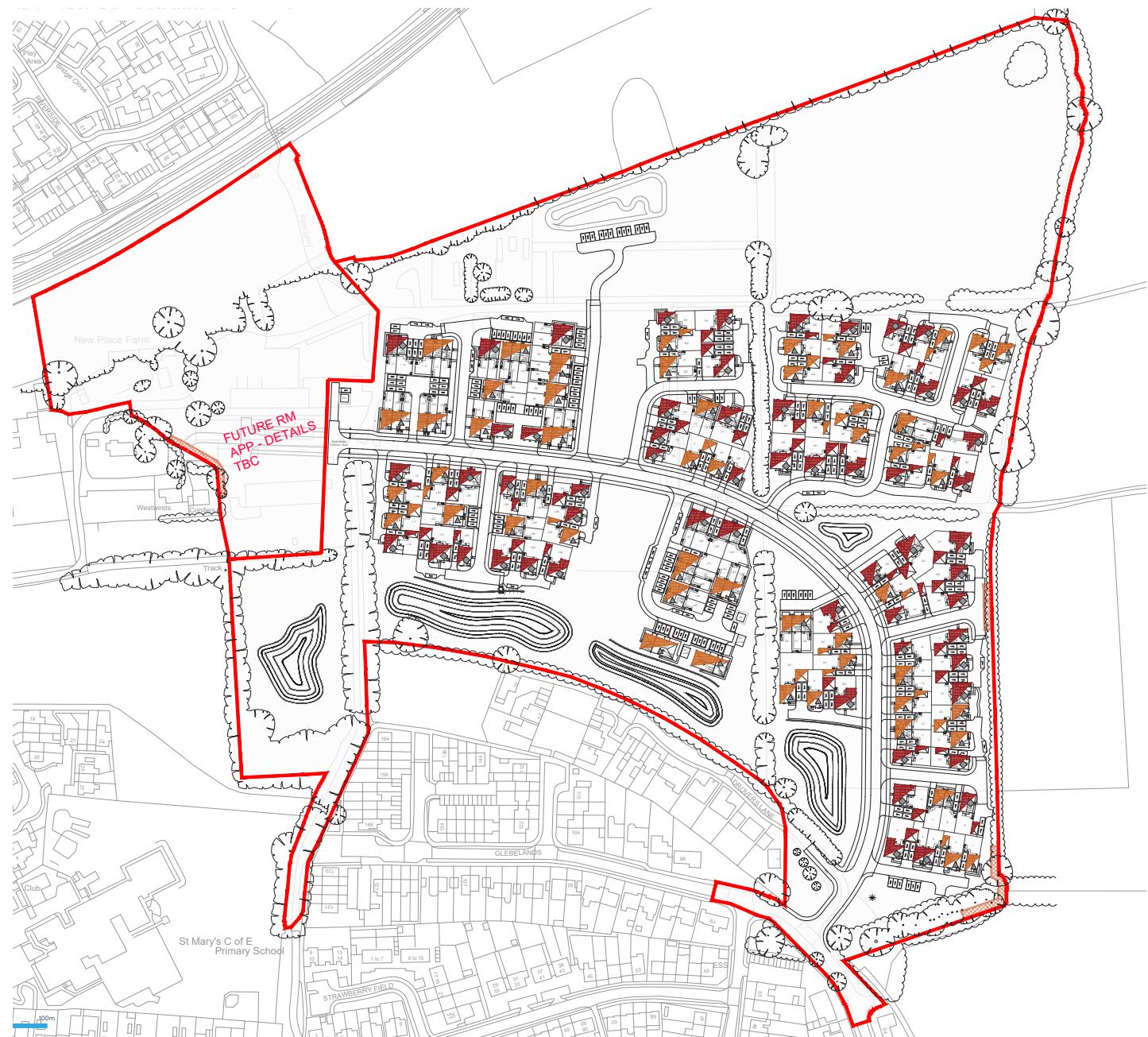


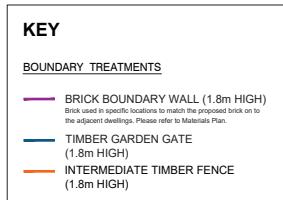
Figure 32: Proposed Materials Plan
Source: FINC Architects



Identity



Figure 33: Boundary Wall & Timber Garden Gate
Source: BDW SOUTHERN



KEY

BOUNDARY TREATMENTS

- BRICK BOUNDARY WALL (1.8m HIGH)
Brick used in specific locations to match the proposed brick on to the adjacent dwellings. Please refer to Materials Plan.
- TIMBER GARDEN GATE (1.8m HIGH)
- INTERMEDIATE TIMBER FENCE (1.8m HIGH)

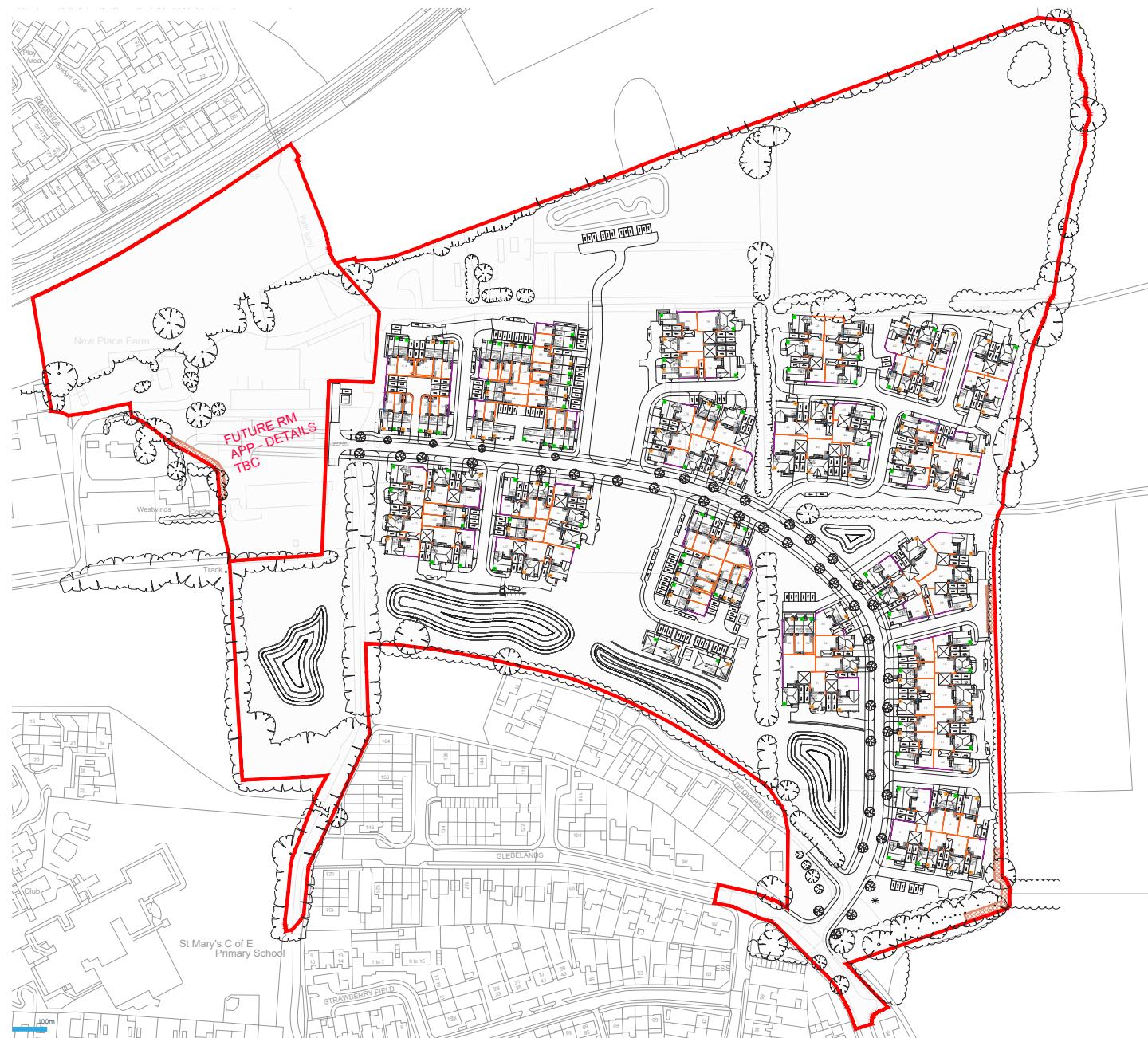


Figure 34: Proposed Boundary Treatment Plan
Source: FINC Architects



Identity



Figure 35: Sketch Perspective from Entrance
Source: FINC Architects



Identity



Figure 36: Sketch Perspective across Attenuation
Source: FINC Architects



Built Form

The NDG states that well-designed places have:

- “compact forms of development that are walkable, contributing positively to well-being and placemaking;
- recognisable streets and other spaces with their edges defined by buildings, making it easy for anyone to find their way around, and promoting safety and accessibility; and
- memorable features or groupings of buildings, spaces, uses or activities that create a sense of place, promoting inclusion and cohesion”

Proposed Dwellings

The approved Framework document has built upon the NDG and the guidelines it presents, and goes on to state the site should utilise “**Landmark buildings at gateway and key locations to create a sense of arrival and mark vistas from road approaches**”, which our proposal has followed and utilise with various statement dwellings at key locations. The most notable house types are the X and Y, featuring key corbel detailing, along with areas of brick detailing which then provides wayfinding and welcomes visitors off of X Road and into the site. This detailing stays in-keeping with the local area and will create a smooth transition between the local vernacular and the proposed site.



Figure 37: House Type Winstone
Source: FINC Architects



Figure 38: House Type SF58-61
Source: FINC Architects



Proposed Streetscenes

The approved Framework document states we are “creating a distinctive sense of place and memorable character for the Site will be greatly influenced by the relationship between the buildings, streets, open spaces, and the quality of the public realm”, which our proposal accords with. Each street displays a sense of local character and provides a range of interesting sights as users wander the site whether they are in a vehicle or on foot.



Figure 39: Streetscene A-A
Source: FINC Architects



Figure 40: Streetscene B-B
Source: FINC Architects



Figure 41: Streetscene Key Map
Source: FINC Architects

Built Form





Built Form

Proposed Streetscenes



Figure 42: Streetscene C-C
Source: FINC Architects



Figure 43: Streetscene D-D
Source: FINC Architects



Figure 44: Streetscene Key Map
Source: FINC Architects



Built Form



Proposed Storey Heights Plan

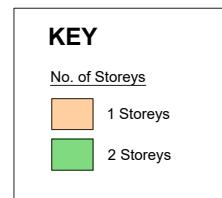


Figure 45: Proposed Building Heights Plan
Source: FINC Architects



Homes & Buildings, Amenity Areas

Garden Sizes

The houses' private gardens have all been design in accordance with Horsham District Planning Policy, as found in the "Space Standards SPD" guide. These spaces have been met across the site in the most efficient and appealing forms for each dwelling.

Minimum standards for rear gardens for houses

Type	Rear garden area (m ²)
2-bedroom terraced	50
3-bedroom terraced	65
Small Semi or detached (3 bedroom max)	85
Large semi or detached	100

Boundary Treatments

Development plots will be defined by a range of boundary treatments such as fences, walls and hedgerows to create the distinction between public and private spaces. Rear gardens will typically be enclosed by 1.8m high close-boarded fences. If the garden boundary faces onto the street, 1.8m high brick walls will enclose the rear gardens, with the brick matching that of the adjacent dwelling. These boundary treatments will be alternated throughout the site to ensure variety.

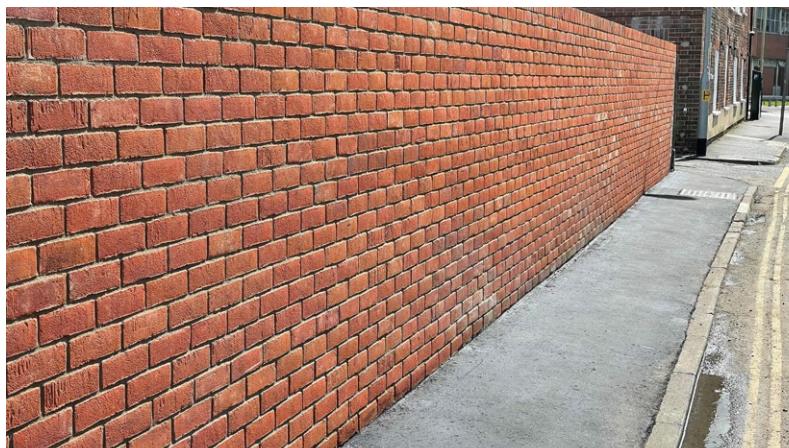


Figure 46: Boundary Treatment Examples
Source: Google





Homes & Buildings



Amenity Areas Plan

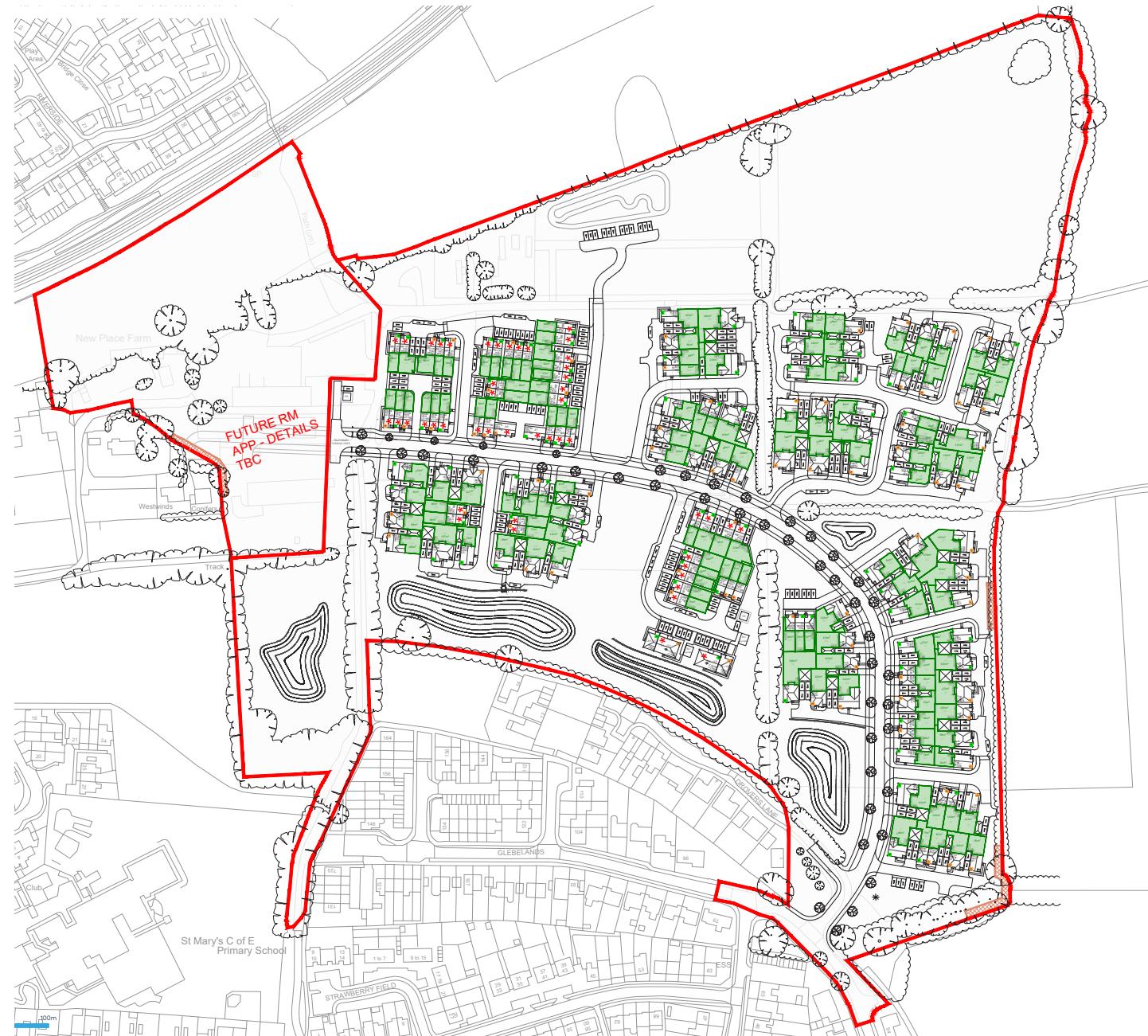
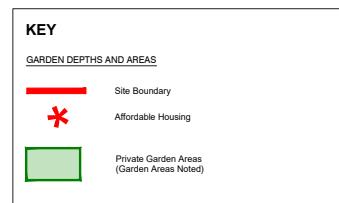


Figure 47: Proposed Amenity Areas Plan
Source: FINC Architects



Movement



Proposed Parking Plan

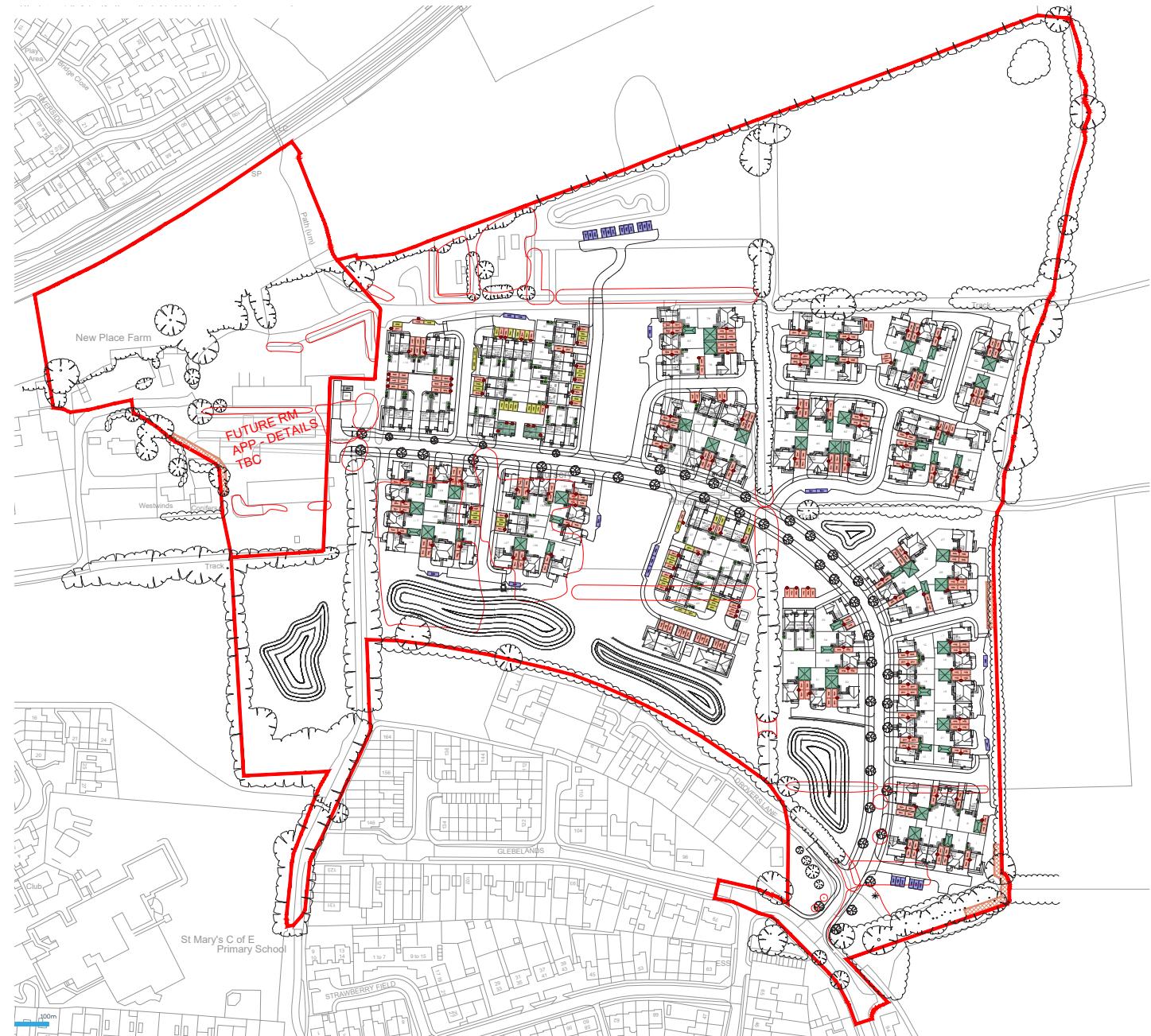
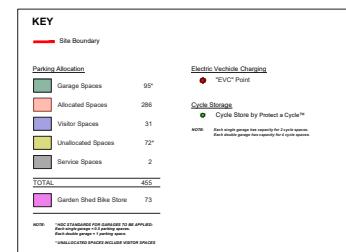


Figure 48: Proposed Parking Plan
Source: FINC Architects



Movement



Proposed Refuse Plan

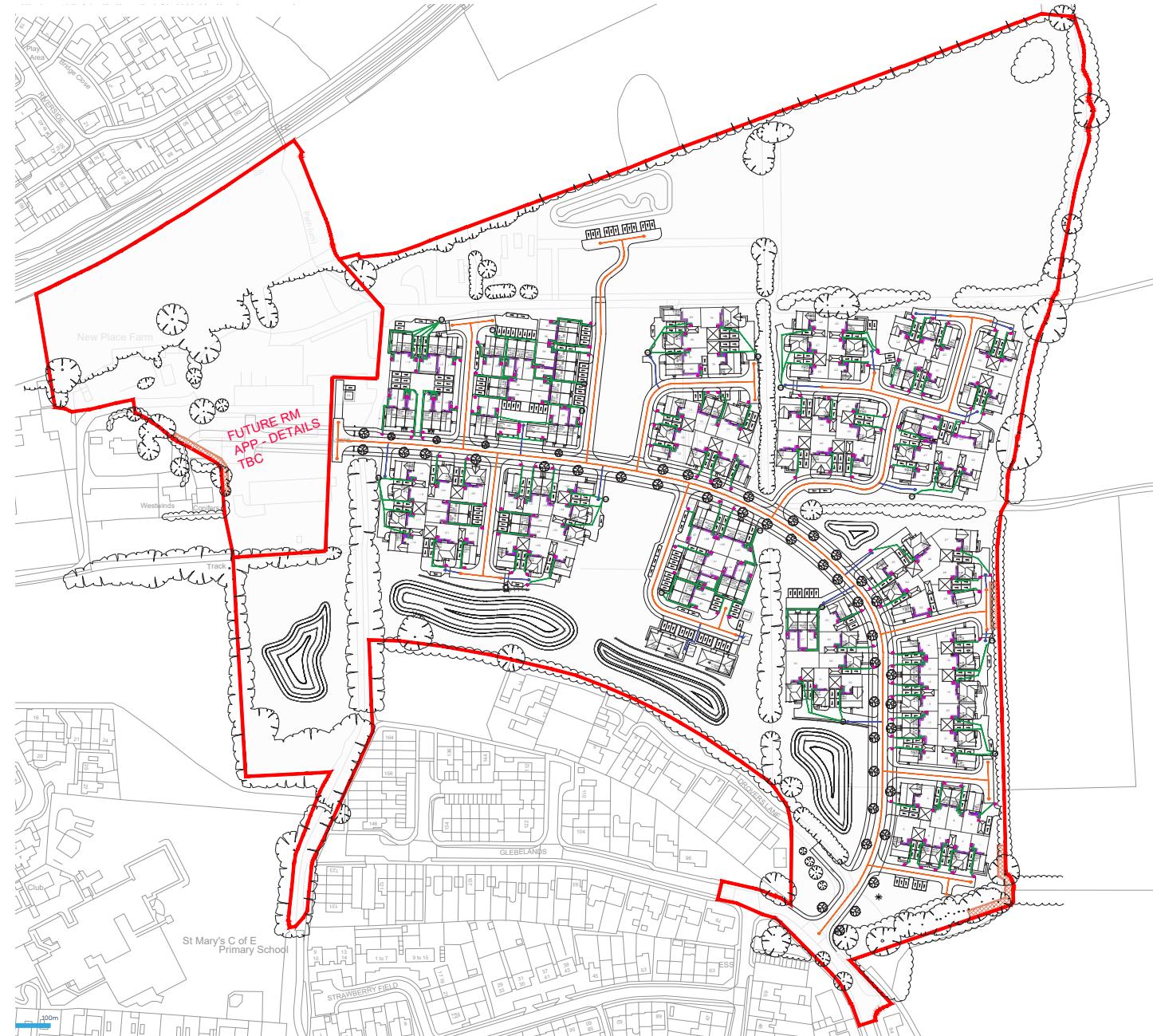
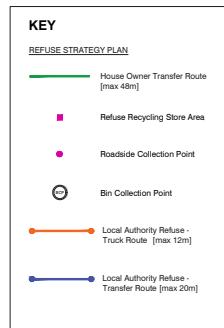


Figure 49: Proposed Refuse Plan
Source: FINC Architects



Technical

Sustainability

The proposals have been designed to maximise energy efficiency, through their siting, design and orientation. The Proposed Development therefore follows the nationally recognised energy hierarchy of:

- Reducing energy demands in the first instance ('Be Lean');
- Before using energy efficiently and cleanly ('Be Clean'), and only then;
- Using renewable and low carbon technologies ('Be Green'), where possible.

In addition, the buildings will be constructed with a 'fabric first' approach to energy efficiency, exceeding the Building Regulations with regards to energy consumption. The fabric efficiency of the proposed dwellings has been designed to reduce heat demand and energy needs. This includes providing high levels of insulation and low air permeability, with consideration for thermal bridging junctions. The diagram below illustrates this approach.

The proposed development seeks to supply energy efficiently by using only electric based heating and hot water systems, including the use of Air Source Heat Pumps, meaning the development will be designed to be fossil fuel-free.

Solar Photovoltaic (PV) panels will be provided to dwellings on Site, whilst orientating buildings to be south-facing where possible to increase the efficiency of solar PV.

In compliance with the Horsham Design Guide, electric charging points will be provided for each new dwelling, as shown on the Parking Parameters Plan.

A sustainable surface water drainage system is proposed throughout the site and forms part of the proposed extensive open space, as part of the wider development. This will ensure that any surface water run-off within the development is appropriately managed.

Furthermore, the materials chosen for construction, including hard and soft landscaping elements, will be carefully chosen to ensure that they are high-quality, durable and that 'whole life costs' are manageable. Sustainable choices will reduce initial manufacturing environmental impacts, long-term maintenance costs and waste from construction, whilst maximising resilience and buildings lifespans.



Figure 50: Solar PV Panels Indicative Image
Source: Google

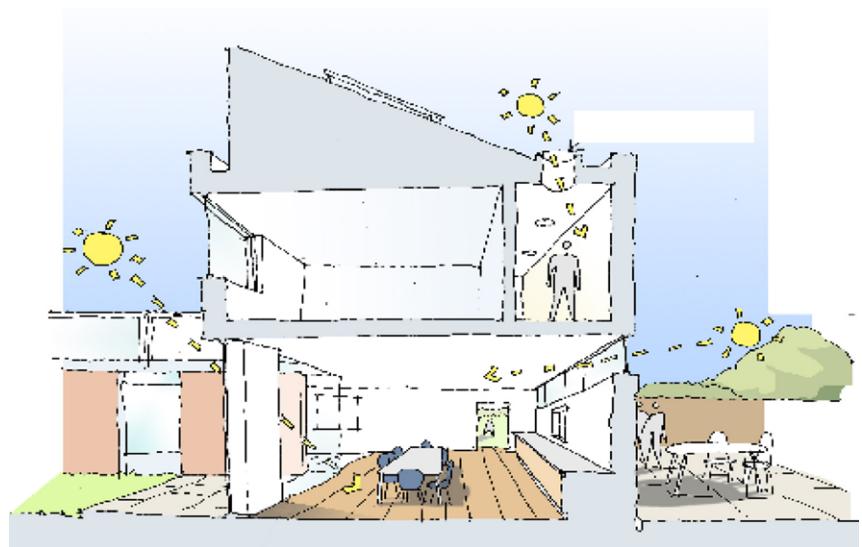


Figure 51: Fabric First Sustainability Concept
Source: FINC Architects

Conclusion

This Design and Access statement has been produced in support of the Reserved Matters planning application for 160 dwellings at New Place Farm, Pulborough. It proposes a high-quality residential development that achieves a sense of place, whilst taking into account the sites constraints and context of the local area.

This document has explained how the proposals make use of a site identified as available, developable and how it has been designed specifically to meet local housing need in a convenient and accessible location.

This has resulted in the proposals detailed within this document for a high-quality landscaped development, with excellent connectivity, place-making and integration into the area.

The development provides a much-needed variety of new open market housing, affordable housing and apartments, open space and biodiversity enhancement.



Figure 52: Coloured Site Plan
Source: FINC Architects



finch

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